

# PART 5 APPLICATION SUBMISSION

## SENIORS HOUSING DEVELOPMENT

97-99 PUNCHBOWL ROAD, BELFIELD NSW 2191

PART LOT 19 DP35824 & PART LOT 18 DP35824

JOB NUMBER: BGXU6

### Housing SEPP 2021

#### External works

- Units on ground floor level to be linked by an AS1428.1 compliant accessible path to the adjoining road.
- Pathway lighting to be Glare free for pedestrians and dwelling and must provide at least 20 lux at ground level.
- Letterboxes must be provided on a hard-standing area, lockable and have wheelchair circulation (1550mm diameter) and linked via an accessible path as per AS1428.1
- There should be no step to the main entry door, entry to external verandah that contain clothes line and between path from street to the verandah. A max threshold of 35mm is permitted where a threshold ramp is provided.
- A garbage storage area must be provided in an accessible location. Provide 1550mm circulation spaces in front of bins

#### Carparking

- Car parking to comply with AS2890.6.

#### Doorway requirements

- Main entry door, door to courtyards, main accessible bathroom, laundry to be 850mm clear (920mm min door leaf) with door circulation spaces as per AS1428.1. All other doors to have 850mm clear opening with scope of provision of door circulation in the future.
- Door handles and hardware for all doors must be provided in accordance with AS 4299 with single hand operation, lever style, operation located between 900-100mm above FFL and all external doors to be keyed alike.

#### Bedroom requirements

- Main bedroom to have size of queen bed with 1,200mm wide at the foot of the bed, and 1,000mm wide beside the bed between it and the wall, wardrobe or any other obstruction.

#### Electrical requirements

- Bedroom must have a telephone outlet next to the bed on the side closest to the door and a general power outlet beside the telephone outlet.
- Bedroom must have wiring to allow a potential illumination level of at least 300 lux.
- Switches and power points must be provided in accordance with AS 4299 with switches located between 900-1000mm and in line with door handles, (Rocker action / toggle / push pad switches with 35mm width are preferred) and GPOs to be at least 600mm above FFL (1000mm preferred) and not less than 500mm horizontally from internal corners.
- Living room, must have a telephone adjacent to a general power outlet and Living and dining room must have wiring to allow a potential illumination level of at least 300 lux.

#### Laundry / Linen cupd

- Laundry must have the provision for the installation of an automatic washing machine and a clothes dryer, a slip-resistant floor surface and an accessible path to clothes line is to be provided.

- At least 1 linen cupboard is to be provided with 600mm minimum width and adjustable shelving

#### Main bathroom

- Bathroom must be Slip-resistant floor surface.
- Bathroom must have shower as per AS1428.1 without a hob, waterproofed to AS 3740, floor falls to waste, walls reinforced to accommodate grabrails / folding seat in the future, taps to be lever or capstan with single outlet, taps to be easily reached from shower entry, wall cabinet that is sufficiently illuminated, and a double general power outlet beside the mirror.
- All tiled areas such as bathrooms, kitchen, and laundries to be such that there is no lip at the doorway. Recess the concrete slab at wet areas if required for compliance.

#### Kitchen

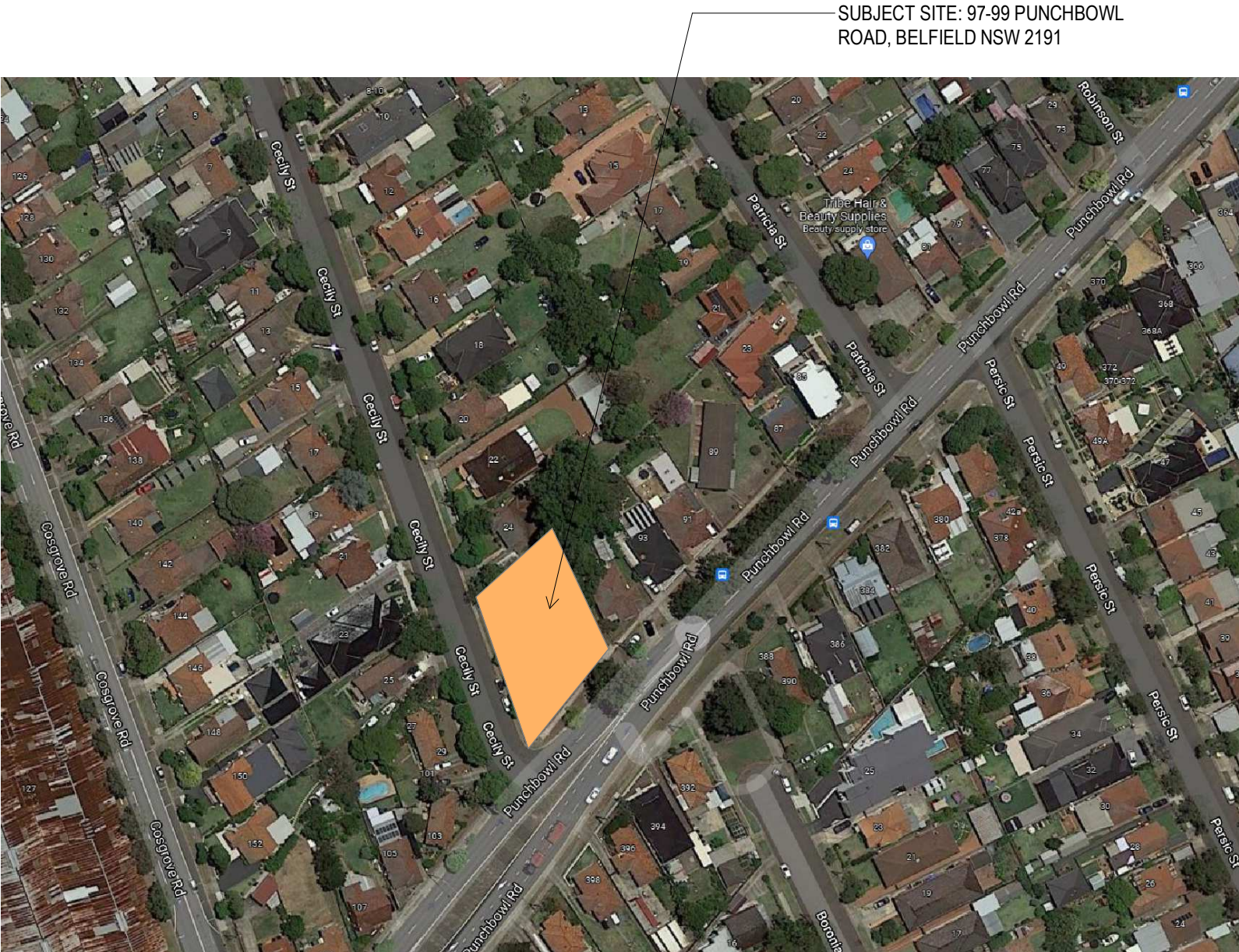
- Kitchen fittings must be provided as per Clause 4.5 of AS 4299:
- 800mm wide work surface which is adjustable or replaceable as a unit at variable heights within range of 750mm to 850mm above FFL in between the wall oven and cooktop.
- Tap set with capstan or lever handles with the taps or operating handles to be located 300mm from front of the sink
- Cooktops with front or side controls with raised crossbars, isolating switch and a work surface of 800mm length at the same height
- Wall oven located next to adjustable height work bench minimum 820mm width.



BASIX COMMITMENTS SUMMARY	
97-99 PUNCHBOWL ROAD, BELFIELD NSW 2191	
This is a summary of the BASIX commitments as detailed in the BASIX certificate. Refer to current BASIX certificate for complete details.	
RESIDENTIAL UNITS	
WATER COMMITMENTS	
Fixtures	
All Showerheads	4 Star
All Toilets Flushing Systems	4 Star
All Kitchen Taps	5 Star
All Bathroom Taps	5 Star
HW Recirculation or Diversion?	No
Appliances	
All Dish Washers	N/A
Alternative Water Source	
Central Water Tank	Landscape, Toilet Connection ONLY
ENERGY COMMITMENTS	
Hot Water	
Hot Water System	Gas Instantaneous 5 Star
Bathroom Ventilation	
Each Bathroom	Individual Fan, Ducted to Facade/Roof
Operation Control	Interlocked to Light
Kitchen Ventilation	
Each Kitchen	Individual Fan, Ducted to Facade/Roof
Operation Control	Interlocked to Light
Laundry Ventilation	
Each Laundry	Individual Fan, Ducted to Facade/Roof
Operation Control	Interlocked to Light
Cooling & Heating	
Cooling	N/A
Heating	N/A
Artificial Lighting	
Bedrooms, Living Areas, Kitchen, Bathrooms/Toilets, Laundry, Hallways	Yes
Natural Lighting	
Number of Bathrooms	1 in Unit 02 & 06
Kitchen	Yes in Unit 01, 04, 05 & 08
Appliances	
Kitchen Cooktop/Oven	Gas Cooktop and Electric Oven
Well Ventilated Fridge Space	No
Dish Washer	N/A
Private Outdoor or Unsheltered Clothes Drying Line	
	Yes
COMMON AREAS	
WATER COMMITMENTS	
Showerheads	No Common Facility
Toilets	No Common Facility
Taps	No Common Facility
Clothes Washer	No Common Facility
ENERGY COMMITMENTS	
Ventilation	
Common Area Ventilation	No Mechanical Ventilation
Lighting	
Primary Type of Artificial Lighting	Lobby: Compact Fluorescent Lift Car: Light-emitting Diode
Lighting Efficiency Measure	Lobby: Daylight Sensor and Motion Sensor Lift Car: Connected to Lift Call Button
Light Control System /BMS	
	No
Alternative Energy Supply	
Photovoltaic System	Rated Electrical Output (min): 2.5 peak kW

NatHERS COMMITMENTS SUMMARY	
R3.5 insulation to plasterboard ceiling with direct roof above 55mm foil blanket underneath metal roof R1.0 to all Double Brick external walls All windows and sliding doors shall be: Aluminium standard single-glazed: clear glass: U = 6.60 & SHGC = 0.60	
UNIT STAR RATINGS	
Unit 1: 6.0 Star	Unit 5: 6.1 Star
Unit 2: 6.1 Star	Unit 6: 6 Star
Unit 3: 6.2 Star	Unit 7: 6.1 Star
Unit 4: 6.3 Star	Unit 8: 6 Star

LIST OF DRAWINGS	
No.	Name
0000	COVER SHEET
0100	SITE PLAN
0200	DEMOLITION PLAN
0201	CUT & FILL PLAN
1000	GENERAL ARRANGEMENT PLAN - GROUND LEVEL
1001	GENERAL ARRANGEMENT PLAN - FIRST LEVEL
1100	GENERAL ARRANGEMENT PLAN - ROOF
2000	BUILDING ELEVATION
2100	BUILDING SECTION
3000	3D HEIGHT PLANE
3001	3D VIEWS - SHEET 1 FRONT PERSPECTIVE
3002	3D VIEWS - SHEET 2 REAR PERSPECTIVE
8005	AREA PLAN
8101	SOLAR DIAGRAMS 1/2
8102	SOLAR DIAGRAMS 3/2
8103	SOLAR STUDY FROM SUN ANGLE 1/2
8104	SOLAR STUDY FROM SUN ANGLE 2/2

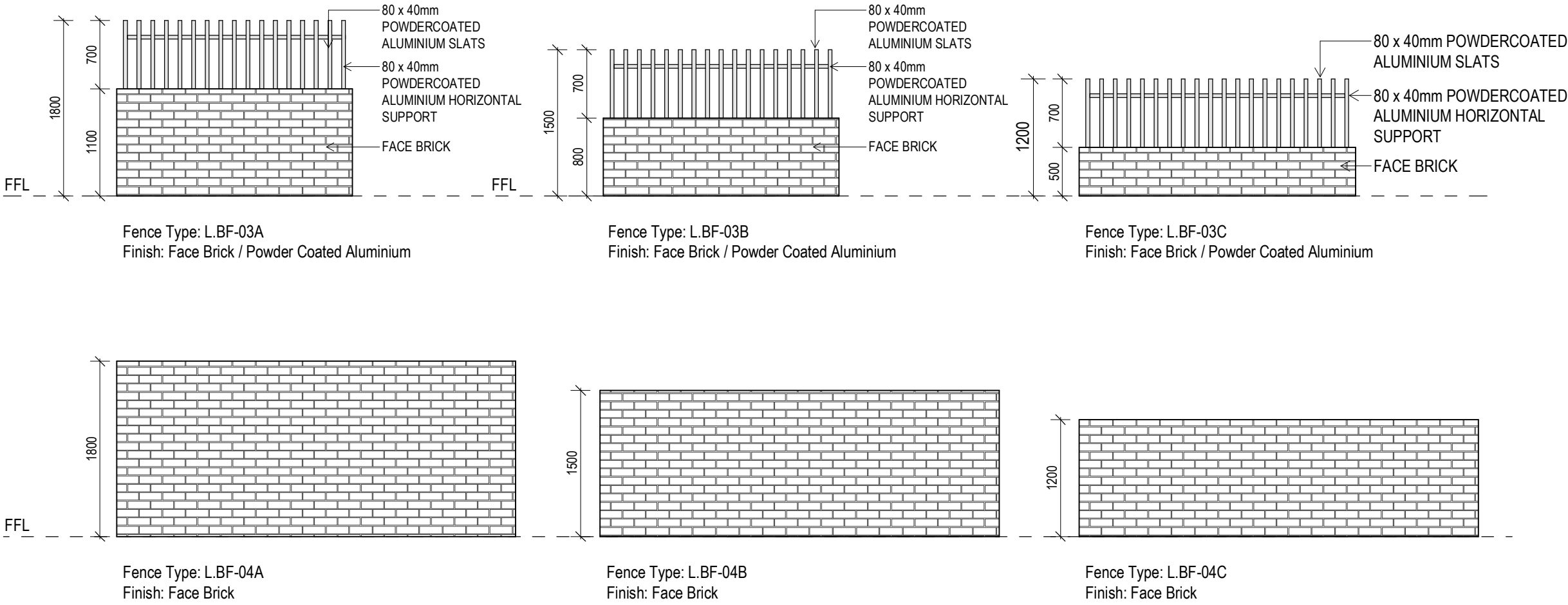
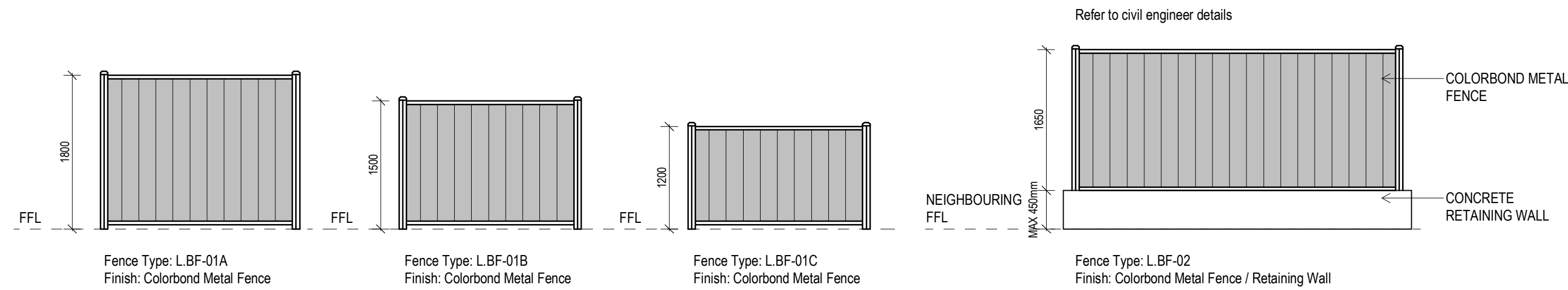


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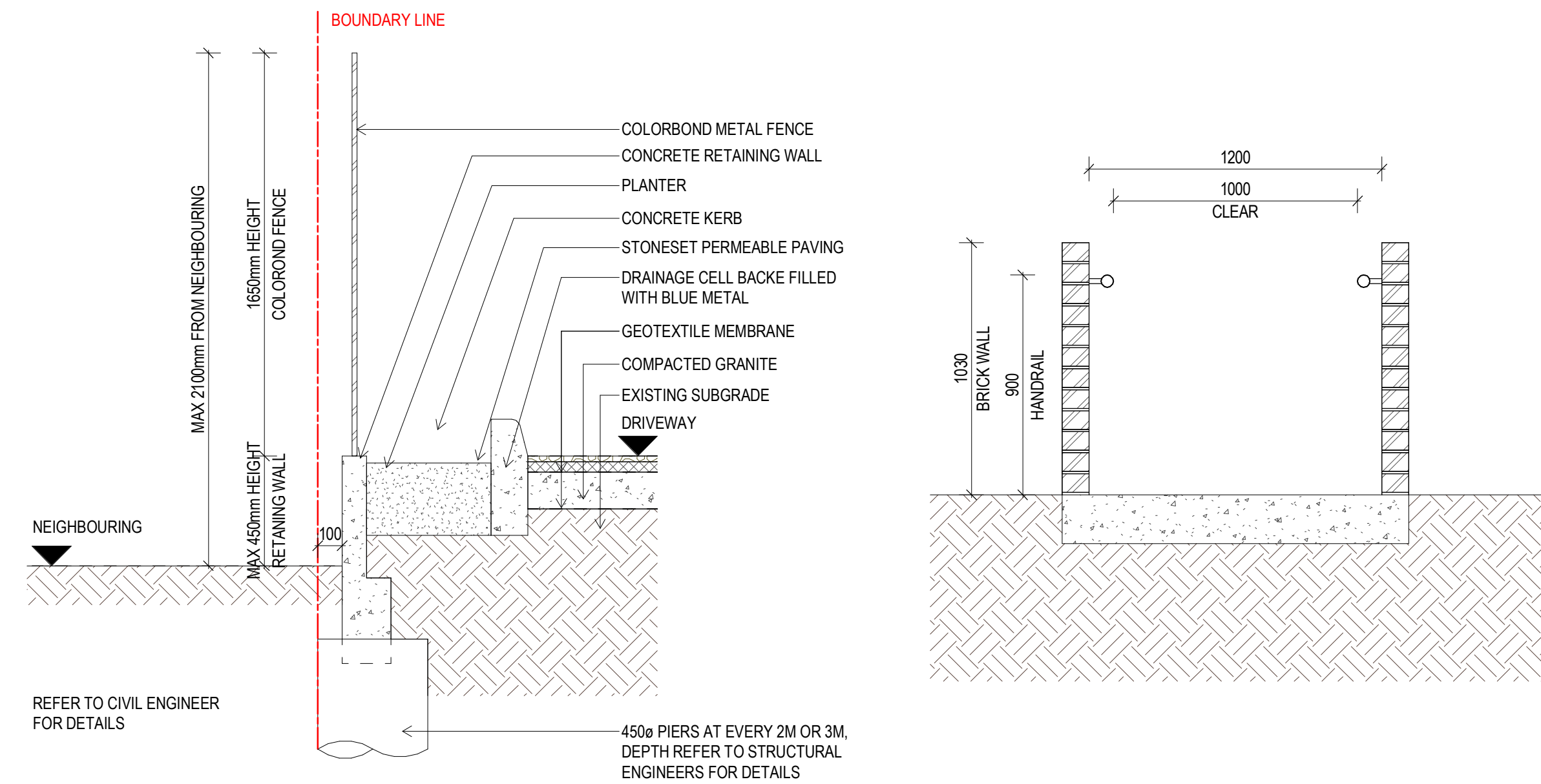
AMENDMENTS				
REV	DESCRIPTION	AUTH	CHK	DATE
A	PART 5 SUBMISSION	VL	LC	02.12.21
B	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
C	REVISED PART 5 SUBMISSION	VL	LC	14.01.22
D	REVISED PART 5 SUBMISSION	VL	LC	01.06.22

STATUS <b>PART 5</b>		NORTH 	
		SYDNEY Level 5, 111-117 Devonshire St Surry Hills NSW 2010 T +61 2 8396 9500 syd@modedesign.com.au ABN: 65 112 807 931	
CLIENT <b>LAHC</b>		<b>Planning &amp; Environment</b>	
PROJECT <b>LAHCBELF</b>		97-99 PUNCHBOWL ROAD, BELFIED NSW 2191 PART LOT 19 DP35824 & PART LOT 18 DP35824	
DRAWING TITLE <b>COVER SHEET</b>			
DRAWN VL		CHECKED LC	
ISSUE 2207/2022 11:05:30 AM		SCALE @ A1 NTS	
PROJECT No <b>21196</b>	STAGE <b>DA</b>	DRAWING No <b>AR-0000</b>	REVISION <b>D</b>



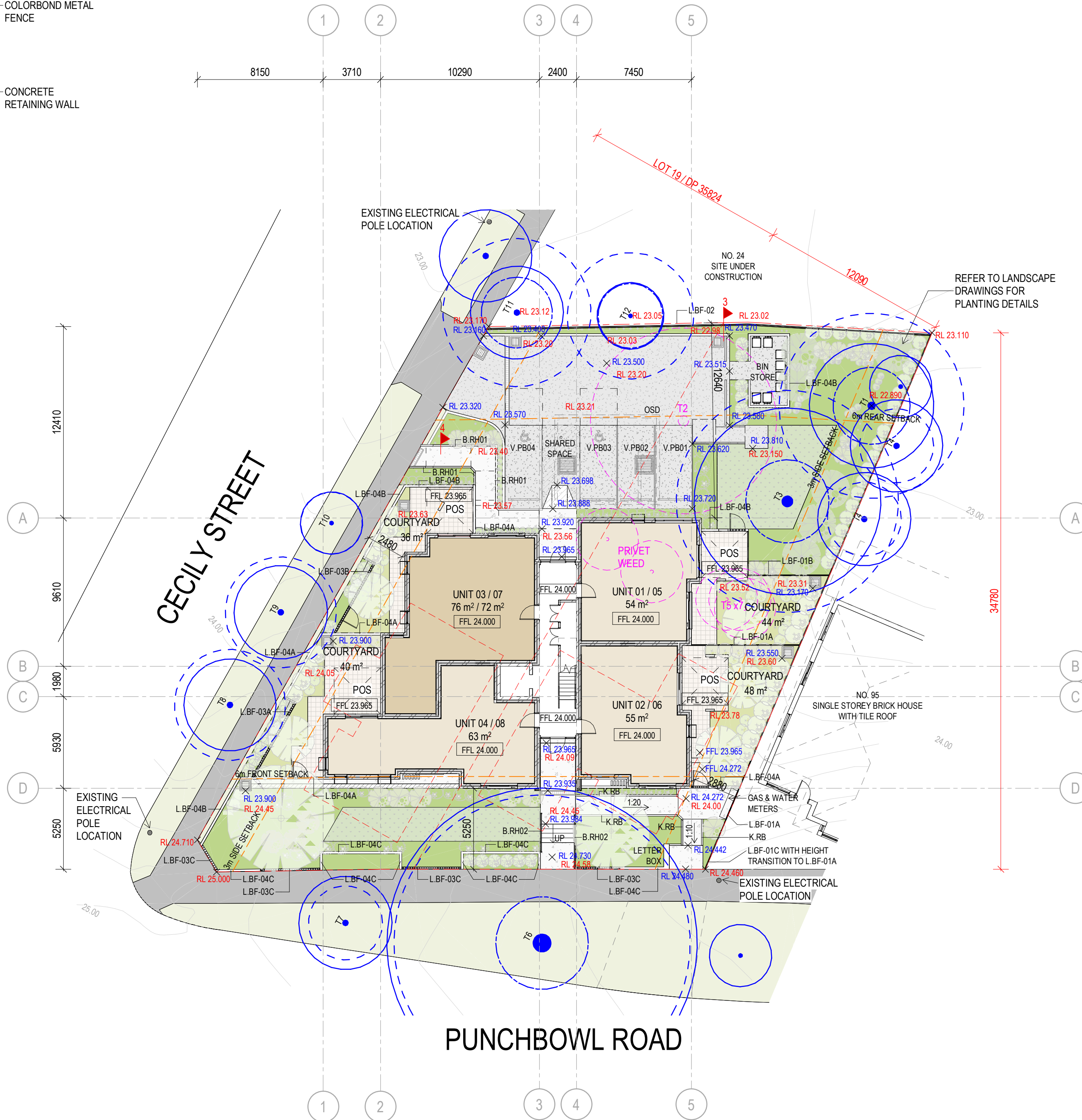


**2 ELEVATION FENCE TYPE**  
Scale: 1 : 50



**3 DETAIL SECTION RETAINING WALL DETAIL**  
Scale: 1 : 20

**4 DETAIL SECTION HANDRAIL DETAIL - B.RH01**  
Scale: 1 : 20



**1 PLAN SITE PLAN**  
Scale: 1 : 200

**LEVEL LEGEND:**

EXISTING GROUND LEVEL	RL 0.000
PROPOSED GROUND LEVEL	RL 0.00
FINISHED FLOOR LEVEL	FFL 0.00
TOP OF WALL LEVEL	TOW 0.00

**GENERAL LEGEND:**

SITE BOUNDARY	---
SITE SETBACK	---
ROOF OVER	---
SEWER LINE	---
EXISTING BUILDING TO BE DEMOLISHED	---

**TREE LEGEND:**

TREES TO BE REMOVED	(X)
TREES TO BE RETAINED	(●)
TREE PROTECTION ZONE (TPZ) - REFER TO ARBORIST REPORT FOR DETAILS	(○)

**LANDSCAPE LEGEND:**

PRIVATE LANDSCAPE AREA	[Green Box]
COMMON LANDSCAPE AREA	[Light Green Box]
COMMON LAWN	[Light Green Box]
POROUS STONESET	[Patterned Box]
PARKING/ DRIVEWAY/ BIN STORE	[Patterned Box]
CONCRETE WALKWAYS	[Patterned Box]
COURTYARD/BALCONY	[Patterned Box]

**UNIT LEGEND:**

1 BED	[Light Brown Box]
2 BED	[Dark Brown Box]

**ABBREVIATION LEGEND:**

A.R.T	THRESHOLD RAMP
A.T.I	TACTILE INDICATOR
COMMS	MAIN COMMUNICATION CUPBOARD
COL	COLUMN
E.K.O	OVEN
H.S.C	STRIP DRAINAGE
H.SP	SURFACE INLET PIT / JUNCTION PIT
H.SV	VALLEY GUTTER
HWU	HOT WATER UNIT
K.R.B	KERB
MSB	MAIN SWITCH BOARD
RWT	RAINWATER TANK
V.B	BOLLARD
V.P.B	PARKING BAY
X.E.C	CLOTHESLINE

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AMENDMENTS				
REV	DESCRIPTION	AUTH	CHK	DATE
A	100% DESIGN DEVELOPMENT	VL	AW	05.11.21
B	PART 5 SUBMISSION	VL	LC	02.12.21
C	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
D	REVISED PART 5 SUBMISSION	VL	LC	14.01.22
E	REVISED PART 5 SUBMISSION	VL	LC	01.06.22

STATUS	NORTH
PART 5	
0m 2 4 6 8 10	

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PROJECT  
**LAHCBELF**  
97-99 PUNCHBOWL ROAD, BELFIED NSW 2191  
PART LOT 19 DP35824 & PART LOT 18 DP35824  
DRAWING TITLE  
**SITE PLAN**

DRAWN VL	CHECKED LC
ISSUE 22/07/2022 10:57:41 AM	SCALE @ A1 As indicated
PROJECT No 21196	STAGE DA
DRAWING No AR-0100	REVISION E



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D	REVISED PART 5 SUBMISSION	VL	LC	14.01.22

**GENERAL LEGEND:**

SITE BOUNDARY ---

DEMOLITION ---

SEWER LINE ---

**TREE LEGEND:**

TREES TO BE REMOVED ○

TREES TO BE RETAINED ●

TREE PROTECTION ZONE (TPZ) - REFER TO ARBORIST REPORT FOR DETAILS ○

STATUS  
**PART 5**

0m 2 4 6 8 10 @A3  
0m 1 2 3 4 5 @A1

NORTH

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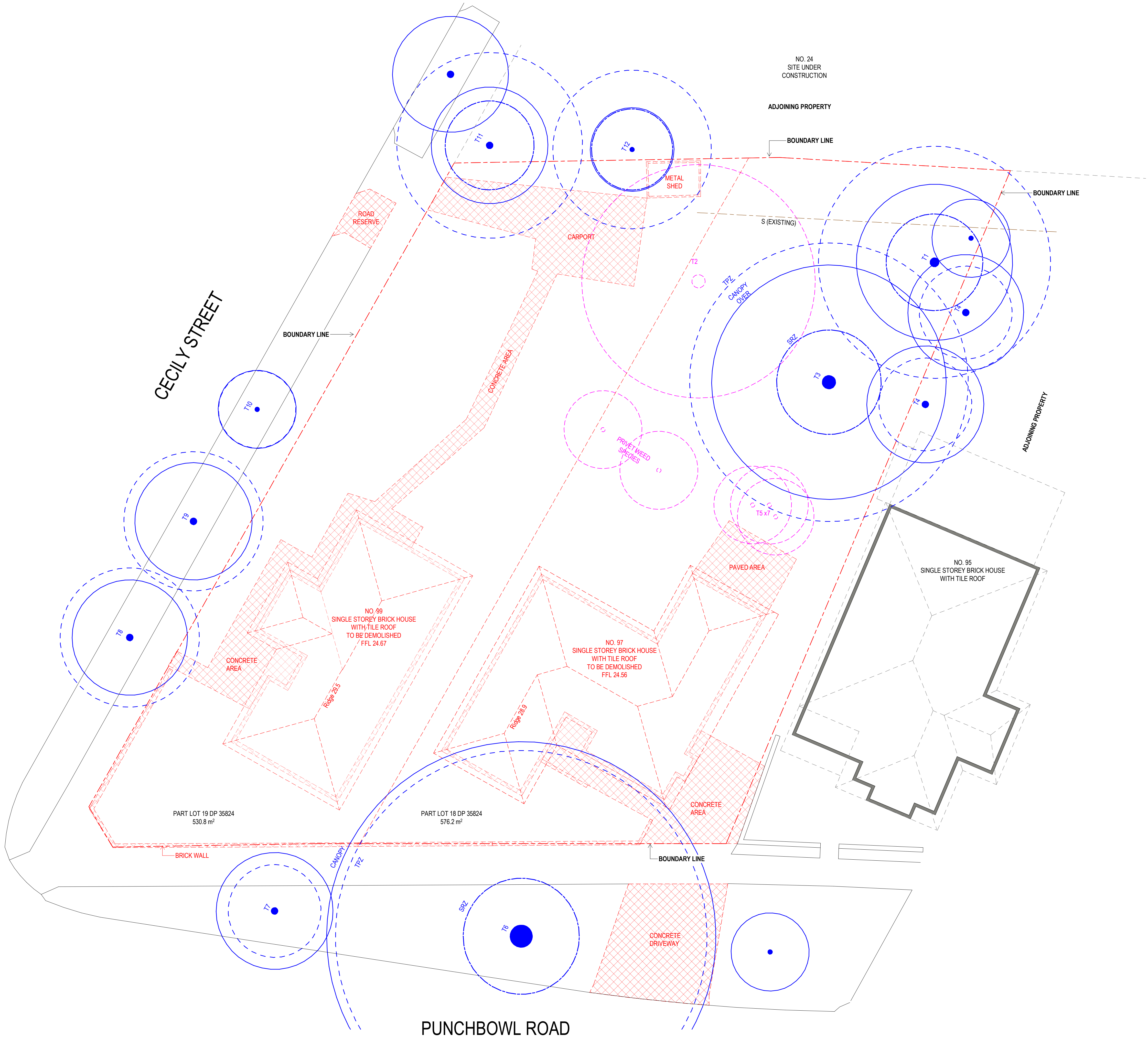
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PROJECT  
**LAHCBELF**

97-99 PUNCHBOWL ROAD, BELFIED NSW 2191  
PART LOT 19 DP35824 & PART LOT 18 DP35824

DRAWING TITLE  
**DEMOLITION PLAN**

DRAWN VL	CHECKED LC	SCALE @ A1 1:100		SCALE @ A3 1:200
ISSUE 22/07/2022 10:57:48 AM	STAGE DA	DRAWING No AR-0200	REVISION D	
PROJECT No 21196				





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B	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
C	REVISED PART 5 SUBMISSION	VL	LC	14.01.22
D	REVISED PART 5 SUBMISSION	VL	LC	01.06.22

CUT & FILL LEGEND

00.000 - EXISTING GROUND RL

00.000 - PROPOSED RL

PROPOSED CUT  
NOTE: ONLY APPROXIMATE EXTENT SHOWN;  
CONFIRM ON SITE

PROPOSED FILL  
NOTE: ONLY APPROXIMATE EXTENT SHOWN;  
CONFIRM ON SITE

PROPOSED BUILDING/COURTYARD OUTLINE

PROPOSED BUILDING WALLS

NOTE:  
LEVELS BASED ON GROUND FLOOR SLAB 110mm THICK.

STATUS  
**PART 5**

0m 2 4 6 8 10 @A3  
0m 1 2 3 4 5 @A1

NORTH

mode

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PART LOT 19 DP35824 & PART LOT 18 DP35824

DRAWING TITLE  
**CUT & FILL PLAN**

DRAWN VL	CHECKED LC	SCALE @ A3 1:200	
ISSUE 22/07/2022 10:57:53 AM	SCALE @ A1 1:100	SCALE @ A3 1:200	REVISION
PROJECT No <b>21196</b>	STAGE <b>DA</b>	DRAWING No <b>AR-0201</b>	REVISION <b>D</b>



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AMENDMENTS				
REV	DESCRIPTION	AUTH	CHK	DATE
J	PART 5 SUBMISSION	VL	LC	02.12.21
K	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
L	REVISED PART 5 SUBMISSION	VL	LC	14.01.22
M	REVISED PART 5 SUBMISSION	VL	LC	17.01.22
N	REVISED PART 5 SUBMISSION	VL	LC	25.01.22
O	REVISED PART 5 SUBMISSION	VL	LC	02.02.22
P	ADDITIONAL DETAILS FOR RETAINING WALL	VL	LC	17.02.22
Q	REVISED PART 5 SUBMISSION	VL	LC	01.06.22

LANDSCAPE LEGEND:

PRIVATE LANDSCAPE AREA	
COMMON LANDSCAPE AREA	
COMMON LAWN	
POROUS STONESET PARKING/ DRIVEWAY/ BIN STORE	
CONCRETE WALKWAYS	
COURTYARD/BALCONY	

UNIT LEGEND:

1 BED	
2 BED	

TREE LEGEND:

TREES TO BE REMOVED	
TREES TO BE RETAINED	
TREE PROTECTION ZONE (TPZ) - REFER TO ARBORIST REPORT FOR DETAILS	

LEVEL LEGEND:

EXISTING GROUND LEVEL	RL 0.000
PROPOSED GROUND LEVEL	RL 0.00
FINISHED FLOOR LEVEL	FFL 0.00
TOP OF WALL LEVEL	TOW 0.00

GENERAL LEGEND:

SITE BOUNDARY	
SITE SETBACK	
EXTEND OF WORK	
ROOF OVER	
SEWER LINE	

ABBREVIATION LEGEND:

A.R.T	THRESHOLD RAMP
A.T.I	TACTILE INDICATOR
COMMS	MAIN COMMUNICATION CUPBOARD
COL	COLUMN
E.K.O	OVEN
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H.S.V	VALLEY GUTTER
HW.U	HOT WATER UNIT
K.R.B	KERB
MS.B	MAIN SWITCH BOARD
R.W.T	RAINWATER TANK
V.B	BOLLARD
V.P.B	PARKING BAY
X.E.C	CLOTHESLINE
[E]	FIRE EXTINGUISHER
[F.P]	FIRE INDICATOR PANELS
[H]	FIRE HYDRANT

STATUS	NORTH
PART 5	
0m 2 4 6 8 10 @A3	
0m 1 2 3 4 5 @A1	



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97-99 PUNCHBOWL ROAD, BELFIED NSW 2191  
PART LOT 19 DP35824 & PART LOT 18 DP35824

DRAWING TITLE  
GENERAL ARRANGEMENT  
PLAN - GROUND LEVEL

DRAWN	VL	CHECKED	LC
ISSUE	22/07/2022 10:58:07 AM	SCALE @ A1	SCALE @ A3
PROJECT No	21196	1:100	1:200
STAGE	DA	DRAWING No	AR-1000
REVISION			Q



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AMENDMENTS				
REV	DESCRIPTION	AUTH	CHK	DATE
E	PROGRESS REVIEW	VL	AW	21.09.21
F	ISSUED FOR BASIX REVIEW	VL	AW	30.09.21
G	ISSUED FOR COORDINATION	VL	AW	15.10.21
H	ISSUED FOR COORDINATION	VL	AW	26.10.21
I	100% DESIGN DEVELOPMENT	VL	AW	05.11.21
J	PART 5 SUBMISSION	VL	LC	02.12.21
K	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
L	REVISED PART 5 SUBMISSION	VL	LC	14.01.22
M	REVISED PART 5 SUBMISSION	VL	LC	01.06.22

LANDSCAPE LEGEND:	
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COMMON LANDSCAPE AREA	
COMMON LAWN	
POROUS STONESET PARKING/ DRIVEWAY/ BIN STORE	
CONCRETE WALKWAYS	
COURTYARD/BALCONY	
UNIT LEGEND:	
1 BED	
2 BED	
TREE LEGEND:	
TREES TO BE REMOVED	
TREES TO BE RETAINED	
TREE PROTECTION ZONE (TPZ) - REFER TO ARBORIST REPORT FOR DETAILS	
LEVEL LEGEND:	
EXISTING GROUND LEVEL	RL 0.000
PROPOSED GROUND LEVEL	RL 0.00
FINISHED FLOOR LEVEL	FFL 0.00
TOP OF WALL LEVEL	TOW 0.00
GENERAL LEGEND:	
SITE BOUNDARY	
SITE SETBACK	
EXTEND OF WORK	
ROOF OVER	
SEWER LINE	
ABBREVIATION LEGEND:	
A.T	THRESHOLD RAMP
A.TI	TACTILE INDICATOR
COMMS	MAIN COMMUNICATION CUPBOARD
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H.SV	VALLEY GUTTER
HWU	HOT WATER UNIT
K.RB	KERB
MSB	MAIN SWITCH BOARD
RWT	RAINWATER TANK
V.B	BOLLARD
V.PB	PARKING BAY
X.EC	CLOTHESLINE
FI	FIRE EXTINGUISHER
FI	FIRE INDICATOR PANELS
FI	FIRE HYDRANT

STATUS	NORTH
PART 5	
0m 2 4 6 8 10 @A3	
0m 1 2 3 4 5 @A1	

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PROJECT  
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97-99 PUNCHBOWL ROAD, BELFIED NSW 2191  
PART LOT 19 DP35824 & PART LOT 18 DP35824

DRAWING TITLE  
**GENERAL ARRANGEMENT  
PLAN - FIRST LEVEL**

DRAWN VL	CHECKED LC
ISSUE 22/07/2022 10:58:24 AM	SCALE @ A1 1:100
PROJECT No 21196	SCALE @ A3 1:200
STAGE DA	REVISION M
DRAWING No AR- 1001	




- RL 0.00  
TOW 0.00

STATUS  
**PART 5**

0m 2 4 6 8 10 @A3  
0m 1 2 3 4 5 @A1

NORTH

A circular compass rose with a thick black line pointing towards the top-right, indicating North. The circle is divided into four quadrants by two thin diagonal lines.

RTH

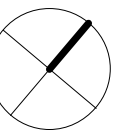
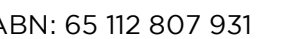


Diagram illustrating the relationship between two different scales for the same length (10m):

- Top scale: 0m, 2, 4, 6, 8, 10 @A3
- Bottom scale: 0m, 1, 2, 3, 4, 5 @A1



## Planning & Environment

DRAWN VL		CHECKED LC	
ISSUE 22/07/2022 10:58:30 AM		SCALE @ A1 1: 100	SCALE @ A3 1: 200
PROJECT No  21196	STAGE  DA	DRAWING No  AR-1100	REVISION  I



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AMENDMENTS

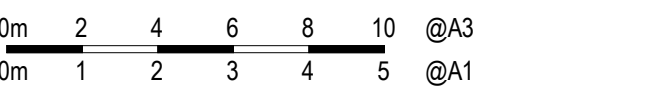
REV	DESCRIPTION	AUTH	CHK	DATE
B	PROGRESS REVIEW	VL	AW	14.09.21
C	PROGRESS REVIEW	VL	AW	21.09.21
D	ISSUED FOR BASIX REVIEW	VL	AW	30.09.21
E	ISSUED FOR COORDINATION	VL	AW	26.10.21
F	100% DESIGN DEVELOPMENT	VL	AW	05.11.21
G	PART 5 SUBMISSION	VL	LC	02.12.21
H	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
I	REVISED PART 5 SUBMISSION	VL	LC	14.01.22
J	REVISED PART 5 SUBMISSION	VL	LC	01.06.22

EXTERIOR FINISHES LEGEND

CODE	IMAGE	DESCRIPTION
ALpc-01		WINDOWS/DOORS FRAME & WINDOW SHUTTER ALUMINIUM POWDERCOATED
BTmt-01		ALUMINIUM BATTEN SCREENS
BTmt-02		ALUMINIUM BATTEN PRIVACY SCREENS
GL-01		WINDOWS AND DOORS: CLEAR GLASS
GL-02		WINDOWS: OPAQUE GLASS
L.BF-01		COLORBOND METAL FENCE
L.BF-02		POWDERCOATED ALUMINIUM SLATS + FACE BRICK
M.LV		MECHANICAL LOUVRE: POWDERCOATED ALUMINIUM
R.F-MScr		COLORBOND METAL CLADDING: LYSAGHT TRIMDEK - MONUMENT
RRpt-01		PAINTED CONCRETE BLADE WALL: COLOUR TO MATCH FIBRE CEMENT CLADDING
W.F-BRfa		SELECTED FACE BRICK: NATURALS ECLIPSE
W.F-FCsh01		PREFINISHED FIBRE CEMENT CLADDING: 1250MM WIDTH PANEL, EQUITONE NATURA N161
W.F-FCsh02		PREFINISHED FIBRE CEMENT CLADDING: 1250MM WIDTH PANEL, EQUITONE NATURA N074
K.RB		PRECAST CONCRETE KERB: LIGHT GREY
B.BL		BALUSTRADE: POWDERCOATED ALUMINIUM COLORBOND MONUMENT
R.BF		FASCIA: POWDERCOATED METAL COLORBOND MONUMENT

STATUS

PART 5



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PROJECT

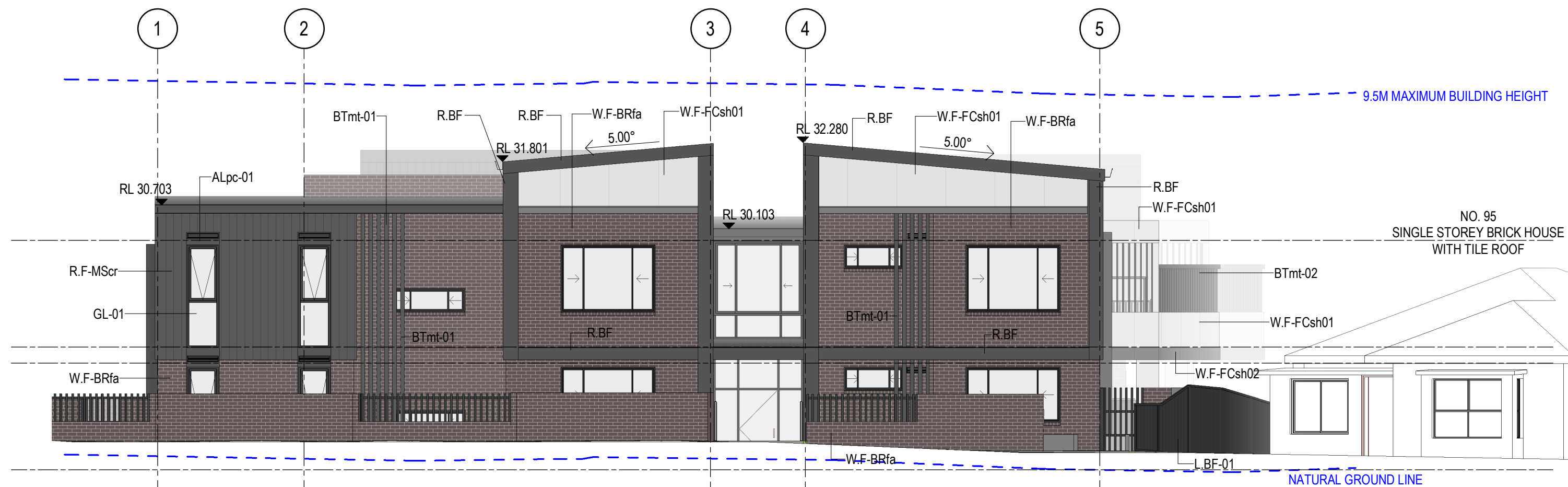
LAHCBELF

97-99 PUNCHBOWL ROAD, BELFIED NSW 2191  
PART LOT 19 DP35824 & PART LOT 18 DP35824

DRAWING TITLE

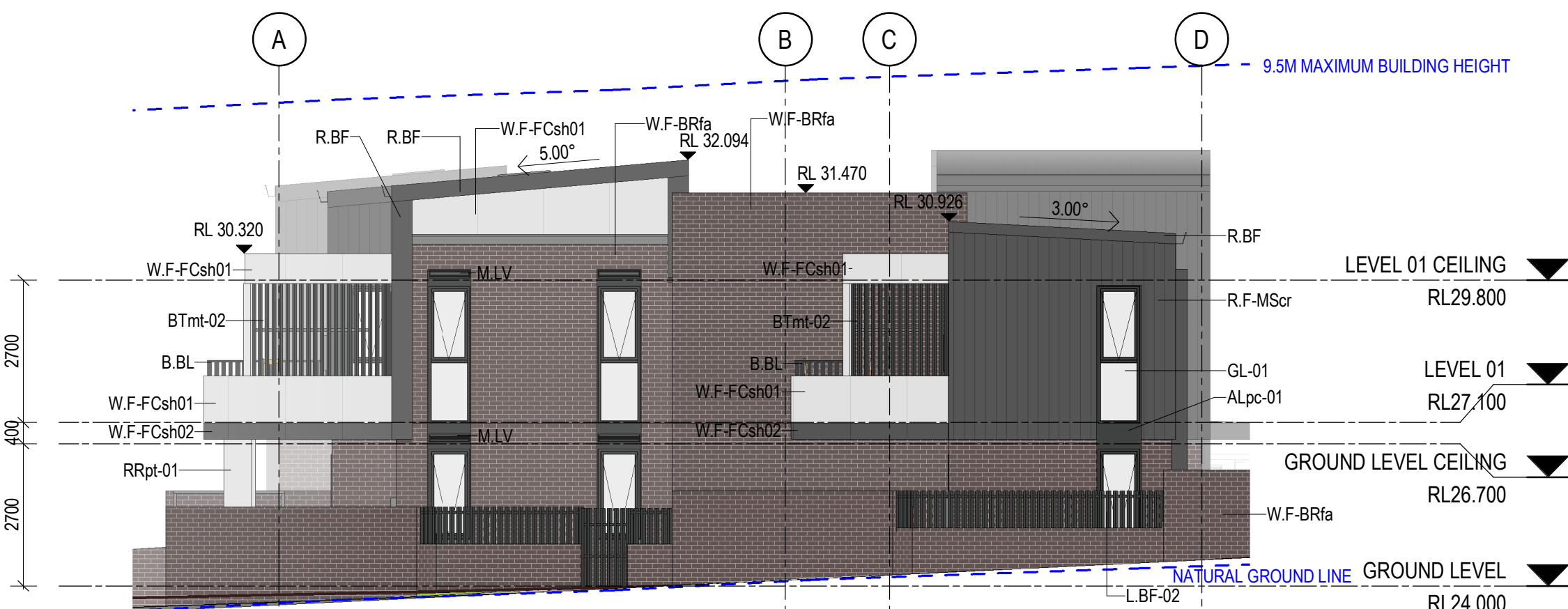
BUILDING ELEVATION

DRAWN VL	CHECKED LC
ISSUE 22/07/2022 10:58:44 AM	SCALE @ A1 1:100
PROJECT No 21196	SCALE @ A3 1:200
STAGE DA	REVISION J



1 ELEVATION SOUTH ELEVATION\_PUNCHBOWL ROAD WITH FENCE

Scale: 1:100



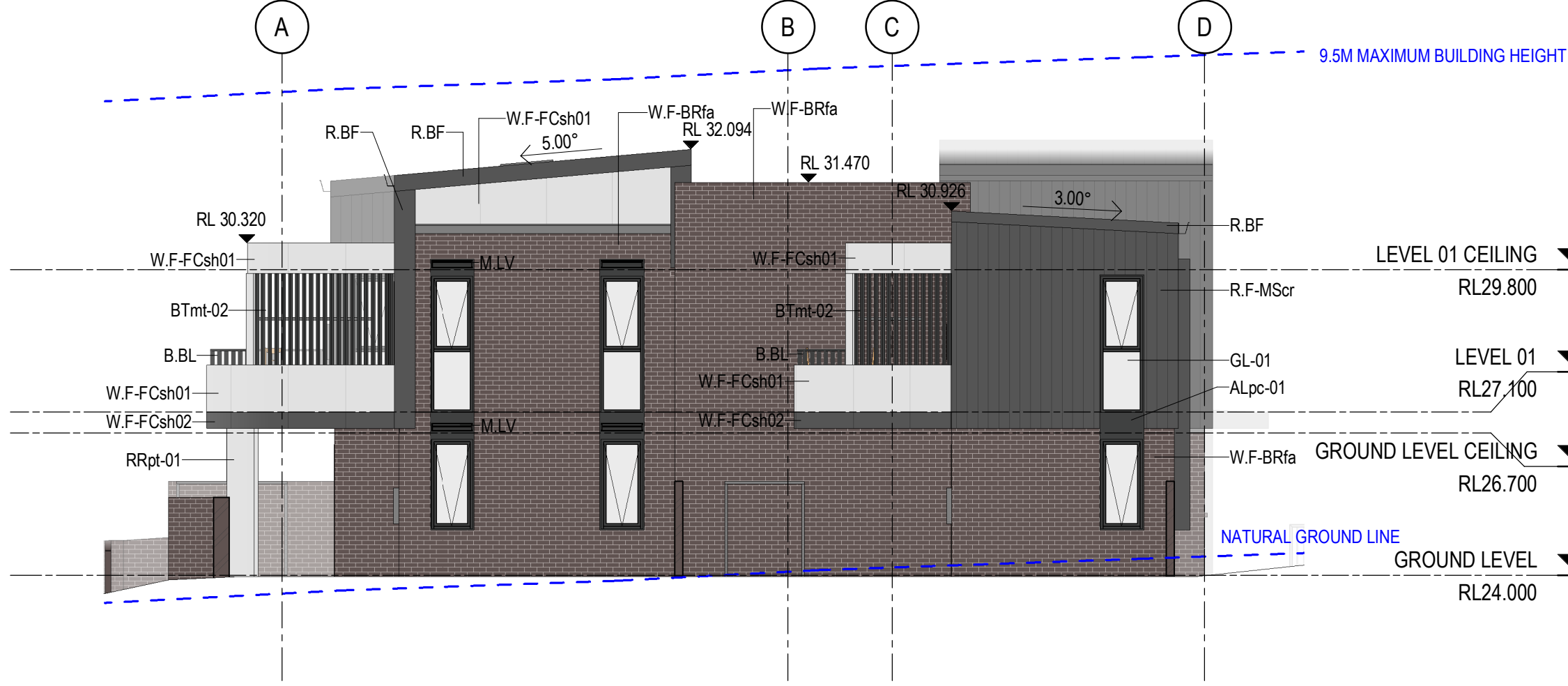
2 ELEVATION WEST ELEVATION\_CECILY STREET WITH FENCE

Scale: 1:100



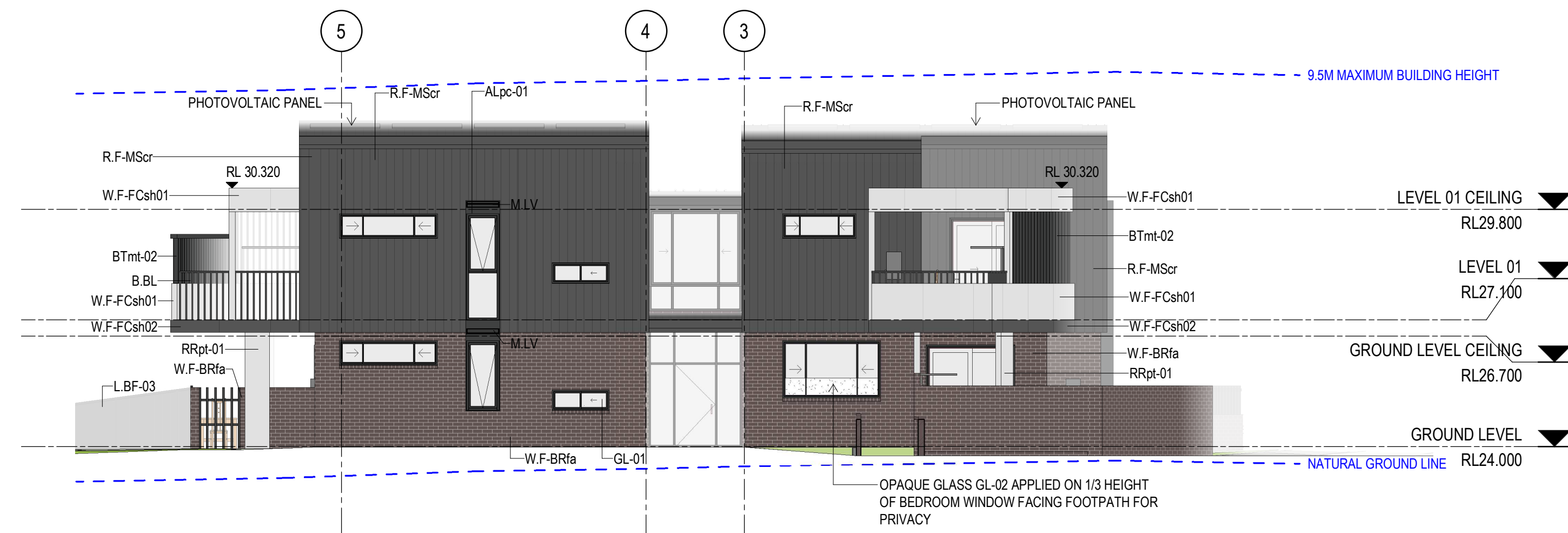
1A ELEVATION SOUTH ELEVATION\_PUNCHBOWL ROAD WITHOUT FENCE

Scale: 1:100



2A ELEVATION WEST ELEVATION\_CECILY STREET WITHOUT FENCE

Scale: 1:100



3 ELEVATION NORTH ELEVATION

Scale: 1:100



4 ELEVATION EAST ELEVATION

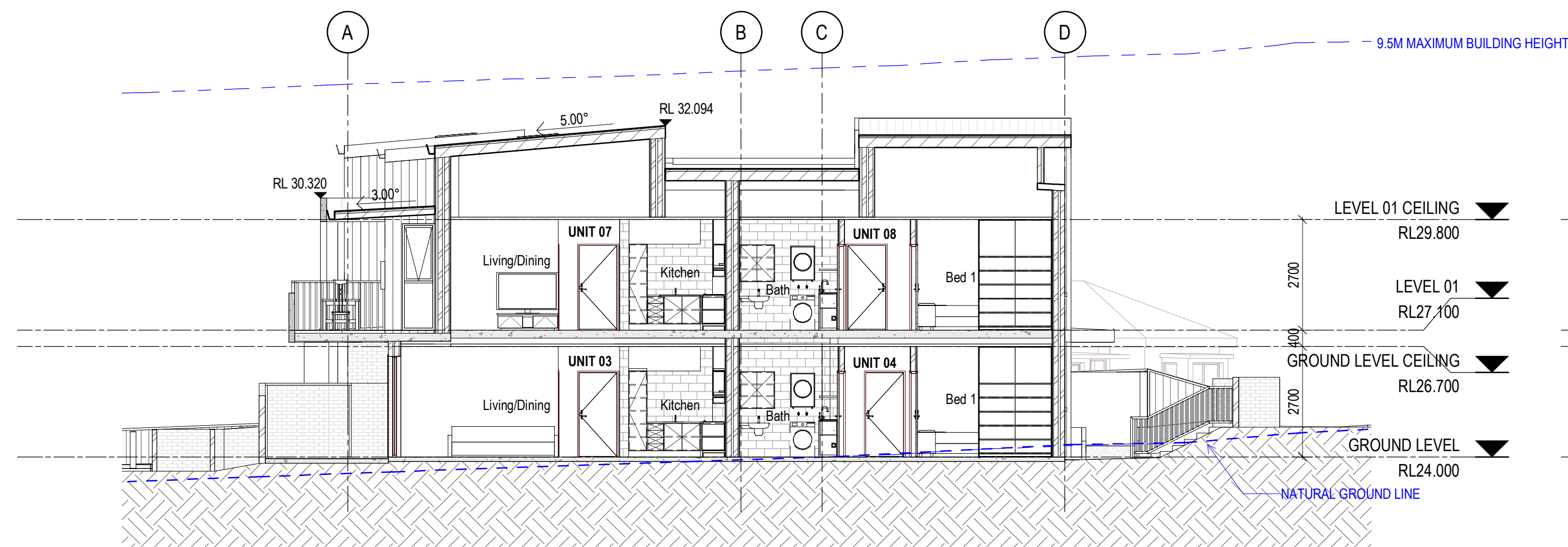
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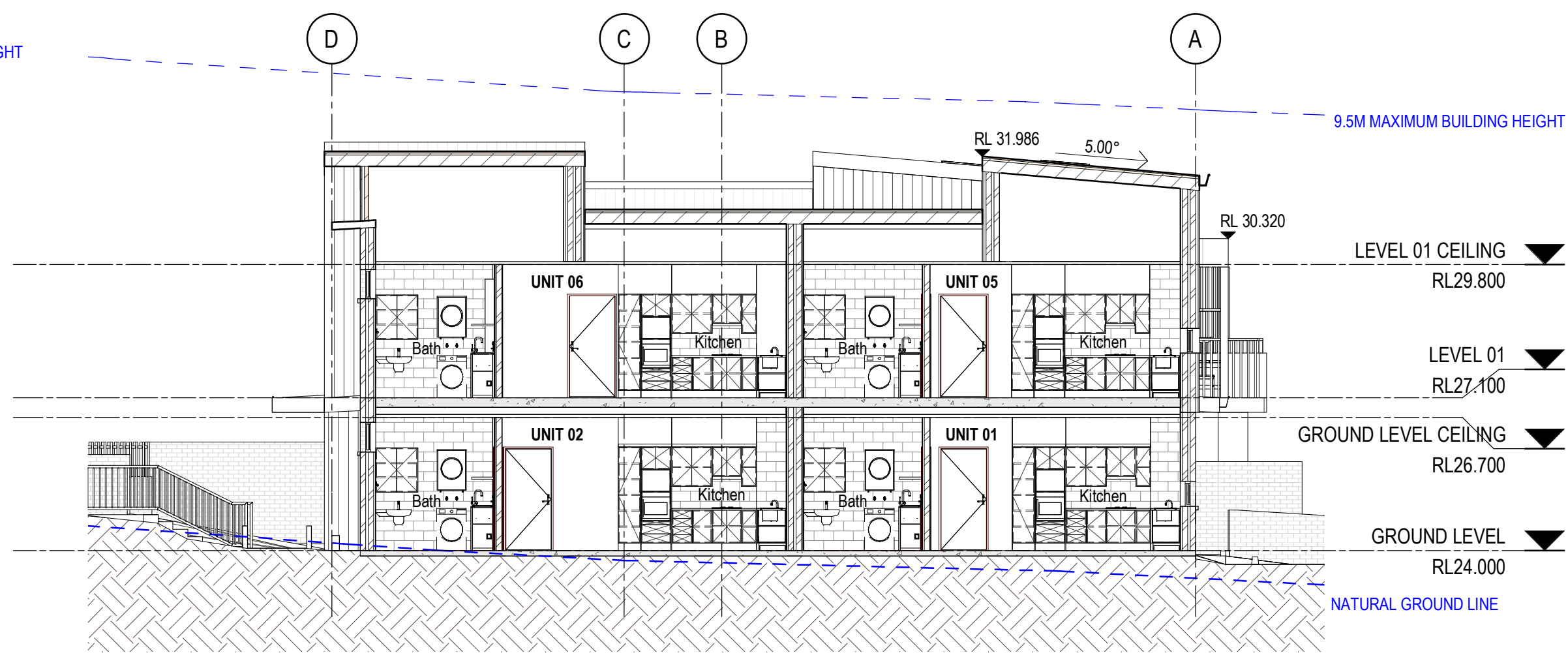
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#### AMENDMENTS

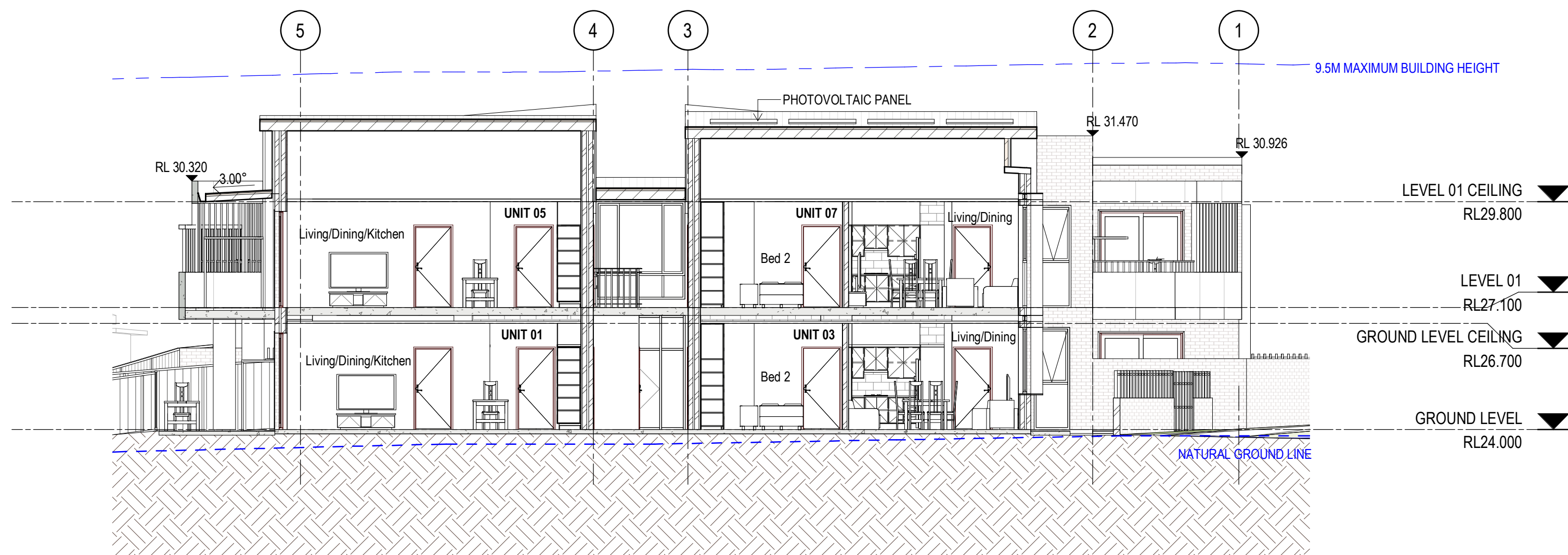
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B	100% DESIGN DEVELOPMENT	VL	AW	05.11.21
C	PART 5 SUBMISSION	VL	LC	02.12.21
D	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
E	REVISED PART 5 SUBMISSION	VL	LC	01.06.22



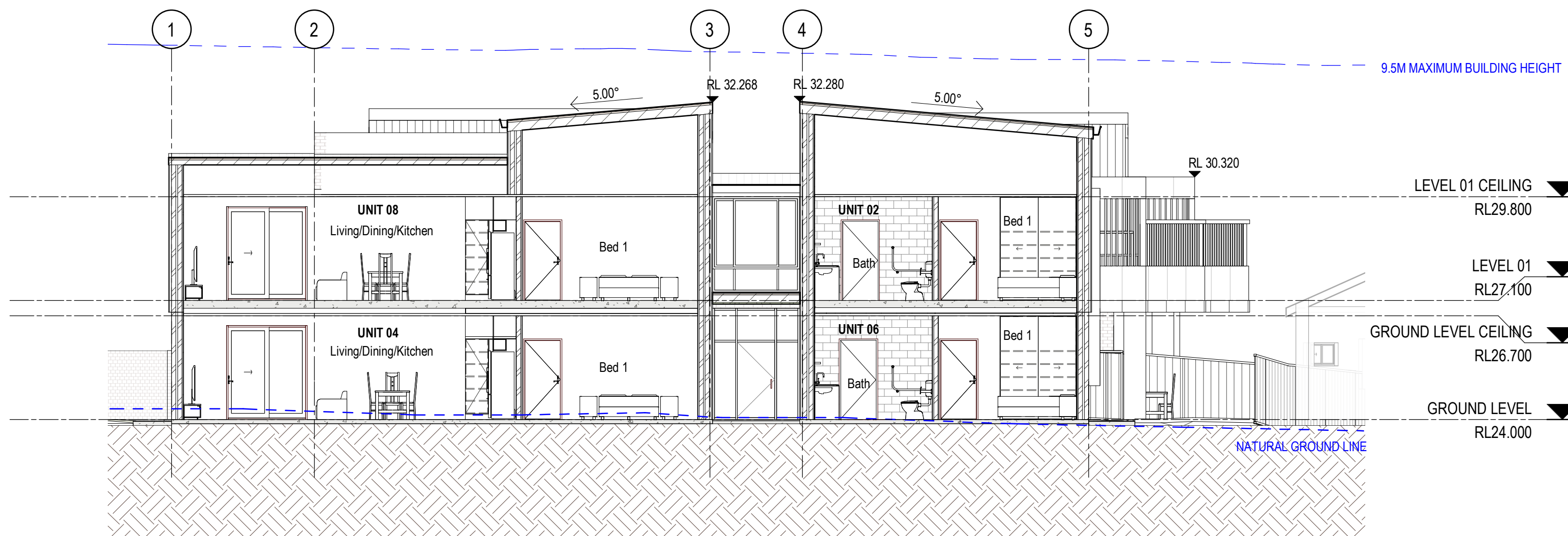
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2 SECTION  
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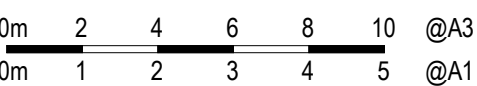


3 SECTION  
Scale: 1 : 100



4 SECTION  
Scale: 1 : 100

#### STATUS PART 5



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Level 5, 111-117 Devonshire St  
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#### PROJECT

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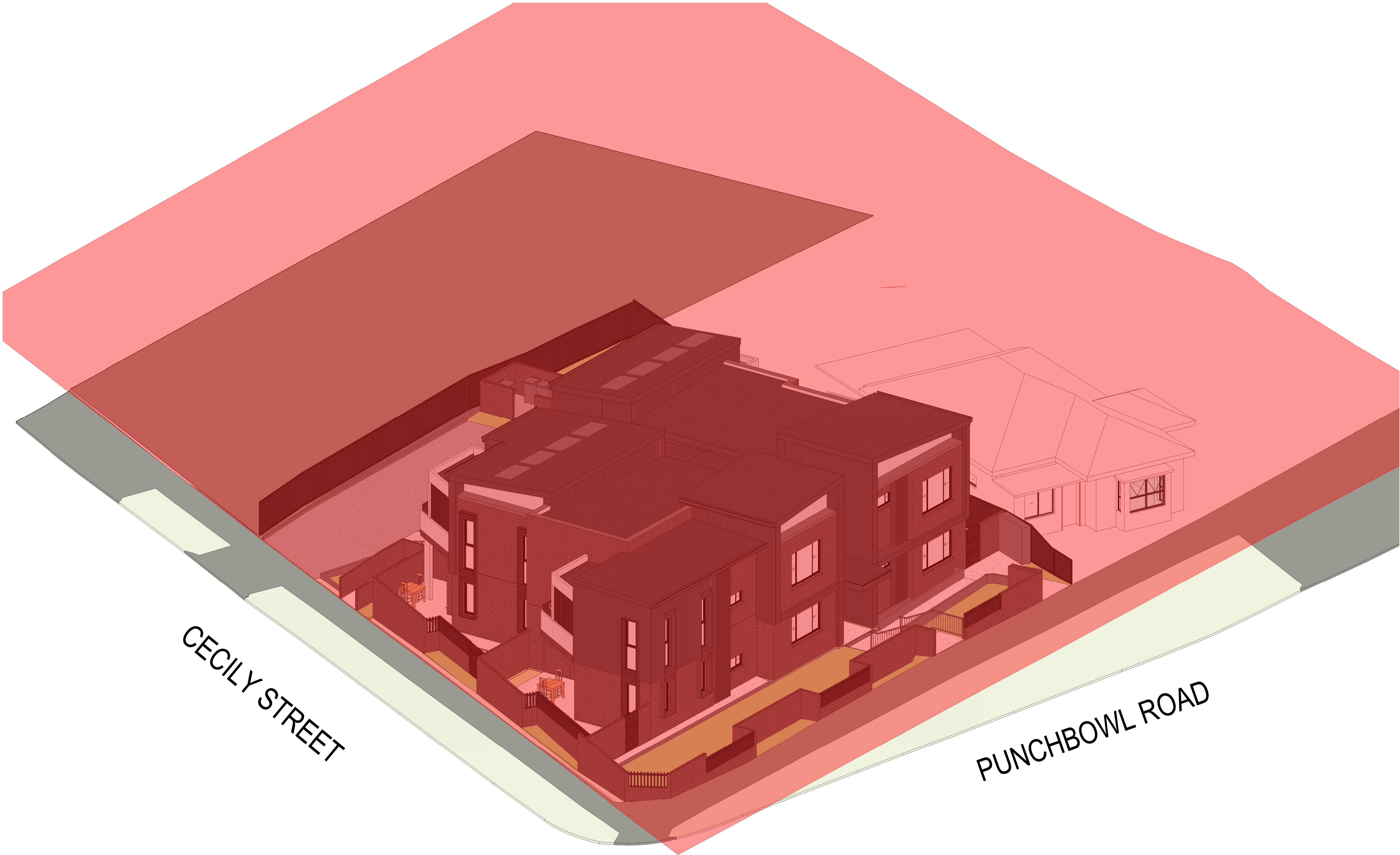
97-99 PUNCHBOWL ROAD, BELFIED NSW 2191  
PART LOT 19 DP35824 & PART LOT 18 DP35824

#### DRAWING TITLE

BUILDING SECTION

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ISSUE 22/07/2022 10:59:07 AM	SCALE @ A1 1:100
PROJECT No 21196	SCALE @ A3 1:200
STAGE DA	DRAWING No AR-2100
	REVISION E





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AMENDMENTS					
REV	DESCRIPTION	AUTH	CHK	DATE	
A	PART 5 SUBMISSION	VL	LC	02.12.21	
B	REVISED PART 5 SUBMISSION	VL	LC	17.12.21	
C	REVISED PART 5 SUBMISSION	VL	LC	01.06.22	

STATUS  
PART 5



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PART LOT 19 DP35824 & PART LOT 18 DP35824

DRAWING TITLE  
3D HEIGHT PLANE

DRAWN VL		CHECKED LC	
ISSUE 22/07/2022 11:01:54 AM NTS		SCALE @ A1 NTS	
PROJECT No	STAGE	DRAWING No	REVISION
21196	DA	AR-3000	C





PUNCHBOWL ROAD STREETSCAPE PERSPECTIVE - 1

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AMENDMENTS					
REV	DESCRIPTION	AUTH	CHK	DATE	
A	PART 5 SUBMISSION	VL	LC	02.12.21	
B	REVISED PART 5 SUBMISSION	VL	LC	17.12.21	

STATUS  
PART 5



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97-99 PUNCHBOWL ROAD, BELFIED NSW 2191  
PART LOT 19 DP35824 & PART LOT 18 DP35824

DRAWING TITLE  
3D VIEWS - SHEET 1  
FRONT PERSPECTIVE

DRAWN VL		CHECKED LC	
ISSUE 22/07/2022 10:59:12 AM NTS		SCALE @ A1 NTS	
PROJECT No	STAGE	DRAWING No	REVISION
21196	DA	AR-3001	B



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AMENDMENTS				
REV	DESCRIPTION	AUTH	CHK	DATE
A	PART 5 SUBMISSION	VL	LC	02.12.21
B	REVISED PART 5 SUBMISSION	VL	LC	17.12.21



CECILY STREET STREETSCAPE PERSPECTIVE - 2

STATUS

PART 5



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PART LOT 19 DP35824 & PART LOT 18 DP35824


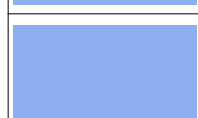
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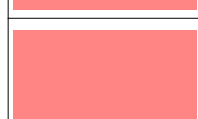
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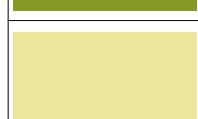
REAR PERSPECTIVE

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VL		LC	
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22/07/2022 10:59:22 AM		NTS	
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21196	DA	AR-3002	B



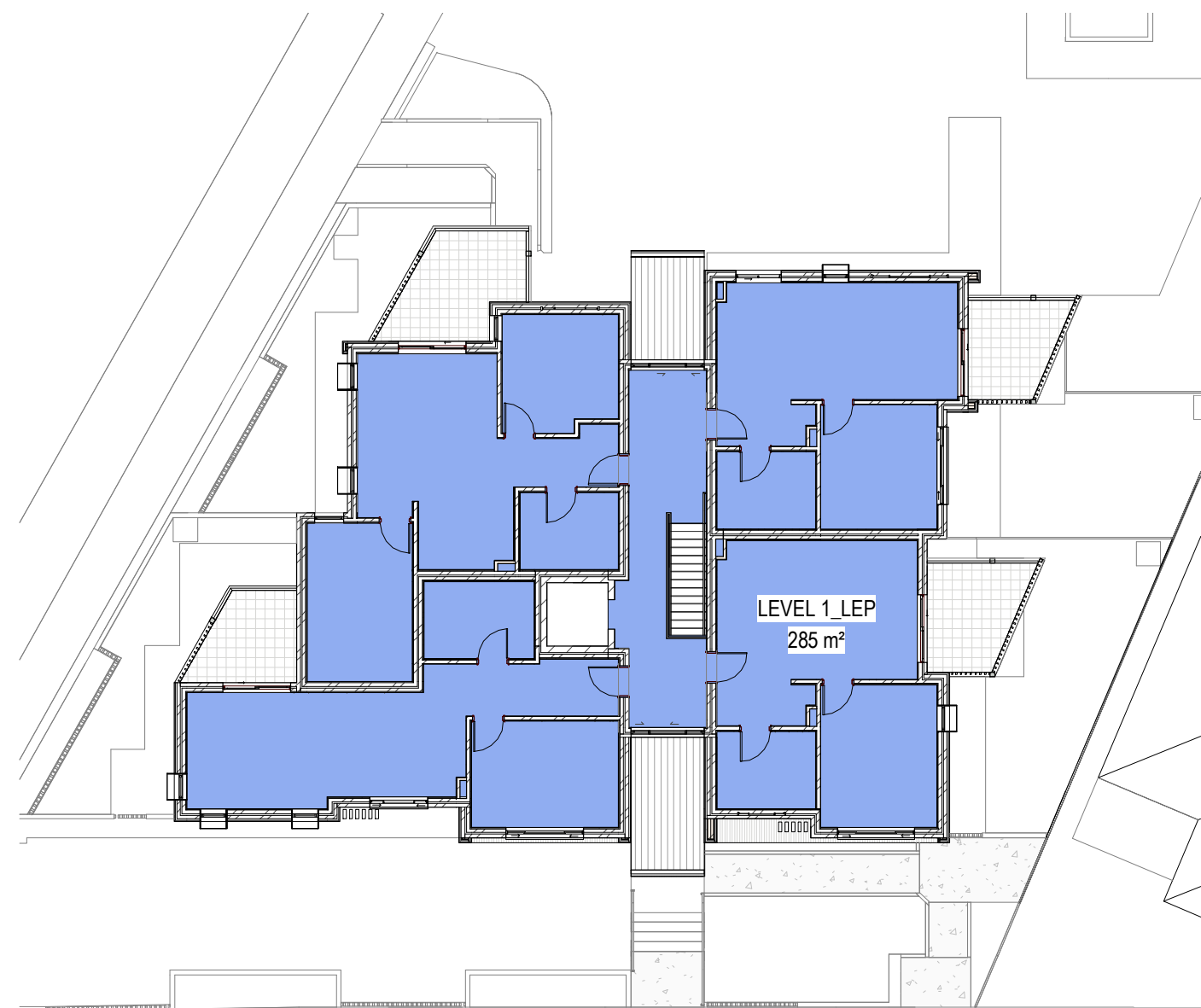
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Image	Name	Area
	GROUND LEVEL_LEP	294 m²
	LEVEL 1_LEP	285 m²
Grand total		579 m²

FSR CALCULATION - SEPP		
Legend	Name	Area
	GROUND LEVEL_SEPP	294 m²
	LEVEL 1_SEPP	285 m²
Grand total		579 m²

FSR CALCULATION - LANDSCAPE		
Image	Name	Area
	DEEP SOIL - FRONT	116 m²
	DEEP SOIL - REAR	178 m²
	LANDSCAPE	109 m²
Grand total		403 m²

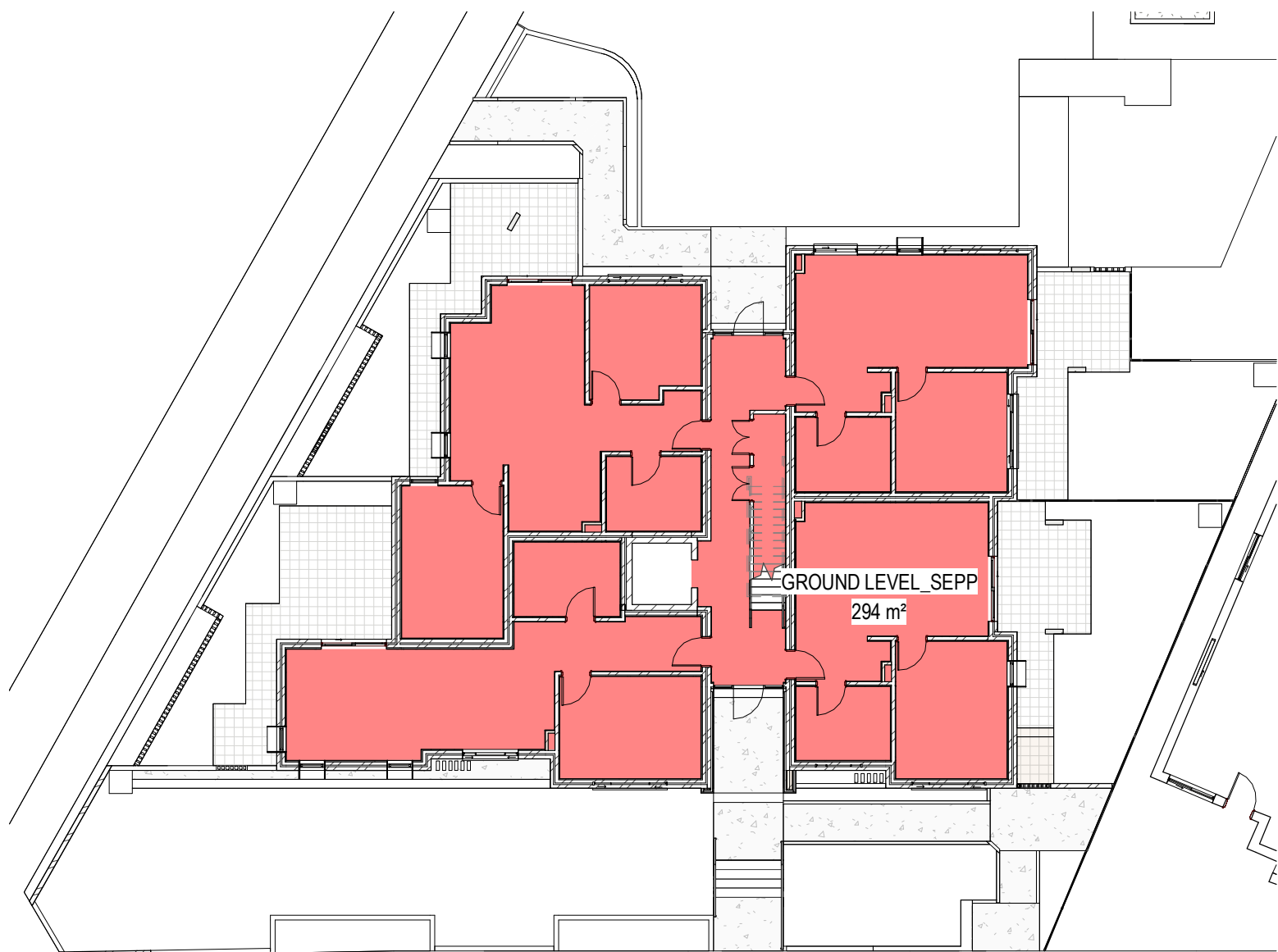


1 PLAN GROUND LEVEL\_LEP  
Scale: 1 : 200

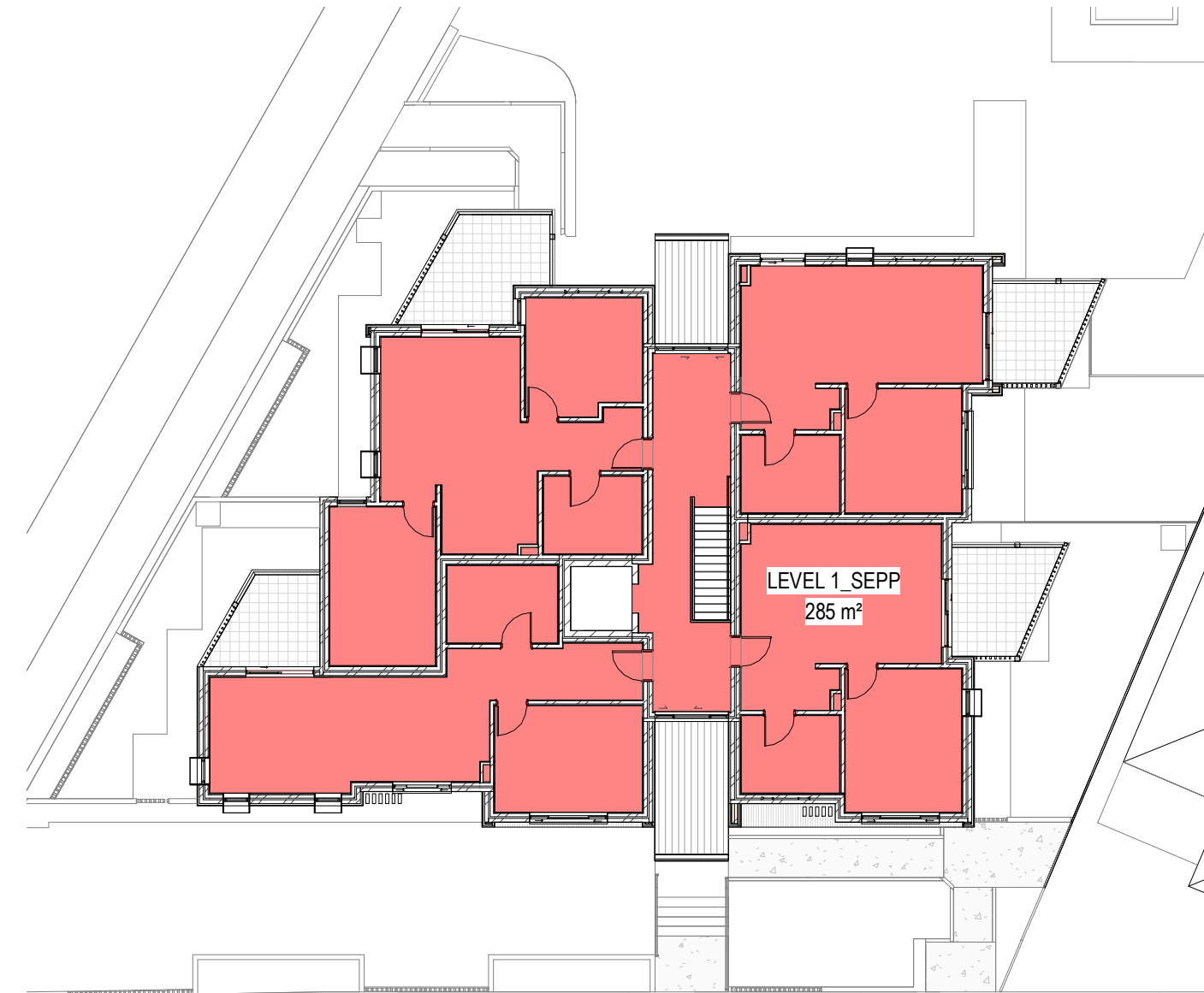


2 PLAN LEVEL 01\_LEP  
Scale: 1 : 200

DEVELOPMENT DATA TABLE			
SITE AREA	1107 m²		
NUMBER OF DWELLINGS	8 DWELLINGS - 6 x 1 BED (SINGLE LEVEL) - 2 x 2 BED (SINGLE LEVEL)		
	AUTHORITY	REQUIRED OR ALLOWED	PROPOSED (APPROX)
FSR	LEP	0.5:1 = 553.5 m²	0.52:1 = 579 m²
	HOUSING SEPP	0.5:1 = 553.5 m²	0.52:1 = 579 m²
HEIGHT	LEP	9.5m	MAXIMUM 8.42m
	HOUSING SEPP (s108B)	9.5m	MAXIMUM 8.42m
SETBACK	STRATHFIELD COUNCIL - DCP	FRONT	6m
		SIDE	3m (SECONDARY STREET)
		REAR	6m
CAR PARKING	HOUSING SEPP (s108) - ACCESSIBLE SPACES 0.2 x (NO. OF DWELLINGS)	1.6 ACCESSIBLE SPACES	2 ACCESSIBLE SPACES
	ACCESSIBLE AREA PARKING RATES: 0.4 x (NO. OF 1 BED) 0.5 x (NO. OF 2 BED)	0.4 x 6 (OF 1 BED) = 2.4 0.5 x 2 (OF 1 BED) = 1 TOTAL = 3.4	4 SPACES INCLUSIVE OF 2 ACCESSIBLE SPACES
LANDSCAPING	HOUSING SEPP (s108)	35 m² / DWELLING = 280 m²	403 m²
DEEP SOIL	HOUSING SEPP (s108)	MIN 15% OF SITE AREA = 166.05 m² MIN. DIMENSION OF 3M WITH IF PRACTICABLE, MIN 65% OF AREA AT REAR	AT FRONT = 116 m² AT REAR = 178 m² TOTAL = 294 m² (26.6%)
PRIVATE OPEN SPACE	HOUSING SEPP (s108)	GROUND FLOOR DWELLINGS: NOT LESS THAN 15 m² WITH MIN 3 x 3 m SIZE  ANY OTHER DWELLINGS: 1 BED = 8 m² 2 BED = 10 m² NOT LESS THAN 2m IN LENGTH AND DEPTH ACCESSIBLE FROM LIVING ROOMS	COMPLIES
SOLAR ACCESS	HOUSING SEPP (s108)	70% OF DWELLINGS TO HAVE ACCESS TO DIRECT SOLAR ACCESS FOR A MIN. OF 2 HOURS BETWEEN 9AM AND 3PM MID WINTER TO POS AND LIVING ROOMS	COMPLIES : 8 UNITS = 100 %
	LAHC DWELLING REQUIREMENTS	70% OF DWELLINGS TO HAVE ACCESS TO DIRECT SOLAR ACCESS FOR A MIN. OF 3 HOURS BETWEEN 9AM AND 3PM MID WINTER TO POS AND LIVING ROOMS	COMPLIES : 6 UNITS = 75 %
TREE RETENTION	AS4970-2009	MINOR ENCROACHMENT - LESS THAN 10% OF THE AREA OF THE TPZ AND IS OUTSIDE THE SRZ  TREE 1, 3, 6, 7, 8, 9 & 10 WITH HIGH RETENTION VALUE TO BE RETAINED	TREE 1, 3, 4, 6, 7, 8, 9, 10, 11 & 12 TO BE RETAINED  TREE 1= 1.2% PAVING ENCROACHMENT TREE 3= 13.0% BUILDING & PAVING ENCROACHMENT TREE 6= 15.6% PAVING ENCROACHMENT TREE 11= 39.4% PAVING ENCROACHMENT TREE 12= 44.1% PAVING ENCROACHMENT



3 PLAN GROUND LEVEL\_SEPP  
Scale: 1 : 200

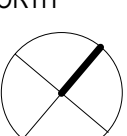


4 PLAN LEVEL 01\_SEPP  
Scale: 1 : 200

UNIT SCHEDULE								
UNIT NO.	NO. OF BEDS	AREA (m²)	PRIVATE OPEN SPACE		SOLAR		NATURAL LIGHT	NATURAL VENTILATION
			AREA (m²)	SIZE	LIVING	POS	Min 10% of Area	Min 5% of Area
1	1	54	44	Min 3 x 3 m	YES	YES	YES	YES
2	1	55	48	Min 3 x 3 m	YES	YES	YES	YES
3	2	76	36	Min 3 x 3 m	YES	YES	YES	YES
4	1	63	40	Min 3 x 3 m	YES	YES	YES	YES
5	1	54	8 (BALCONY)	Min 2 m (D)	YES	YES	YES	YES
6	1	55	9 (BALCONY)	Min 2 m (D)	YES	YES	YES	YES
7	2	72	11 (BALCONY)	Min 2 m (D)	YES	YES	YES	YES
8	1	63	8 (BALCONY)	Min 2 m (D)	YES	YES	YES	YES
TOTAL	8 UNITS	10	492	204	8 UNITS = 100%	8 UNITS = 100%		

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AMENDMENTS				
REV	DESCRIPTION	AUTH	CHK	DATE
A	100% DESIGN DEVELOPMENT	VL	AW	05.11.21
B	PART 5 SUBMISSION	VL	LC	02.12.21
C	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
D	REVISED PART 5 SUBMISSION	VL	LC	14.01.22
E	REVISED PART 5 SUBMISSION	VL	LC	01.06.22

STATUS	NORTH
PART 5	
0m 4 8 12 16 20 @A3	
0m 2 4 6 8 10 @A1	



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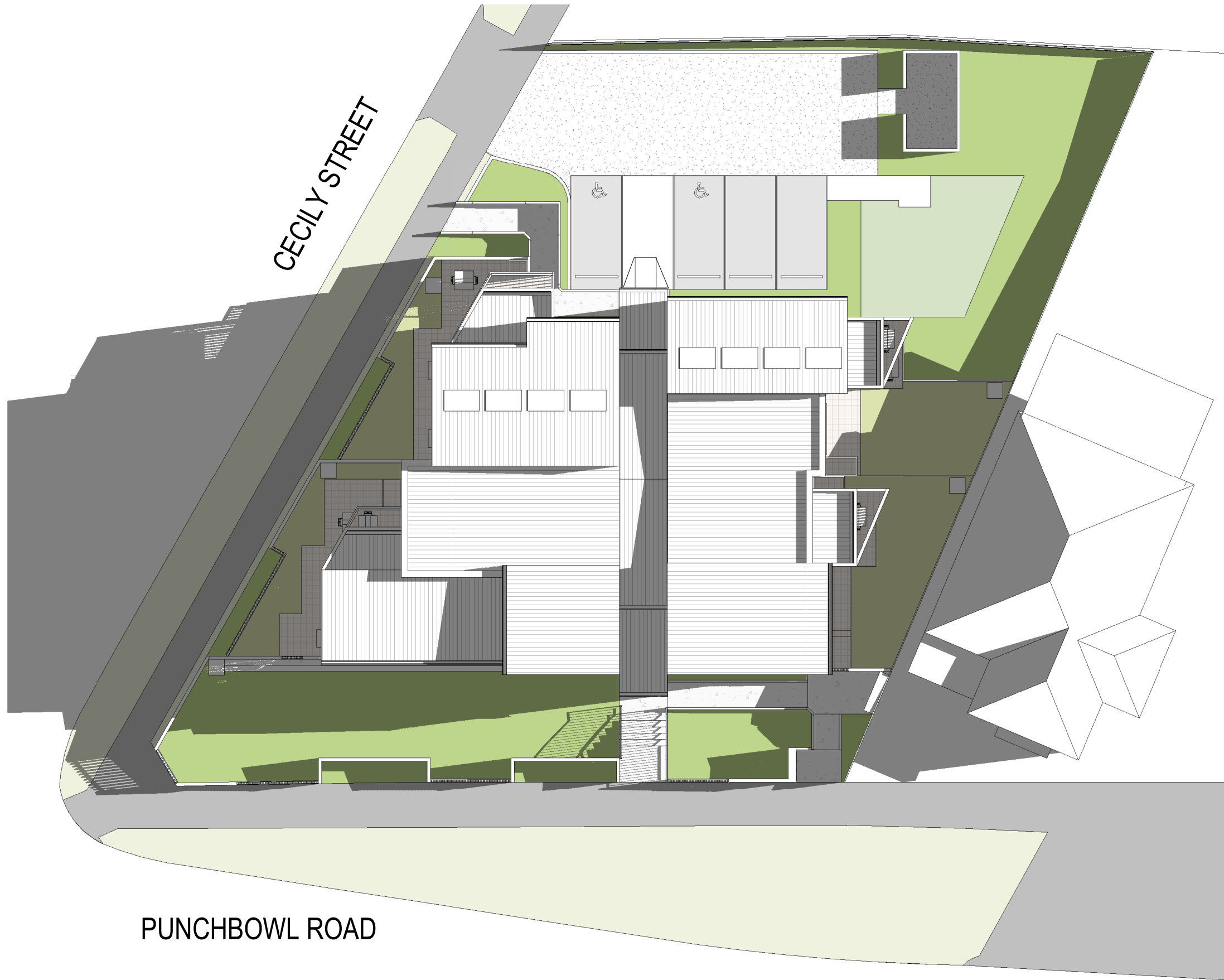
PROJECT  
LAHCBELF

97-99 PUNCHBOWL ROAD, BELFIED NSW 2191  
PART LOT 19 DP35824 & PART LOT 18 DP35824

DRAWING TITLE  
AREA PLAN

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ISSUE 22/07/2022 10:59:40 AM	SCALE @ A1 As indicated
PROJECT No 21196	SCALE @ A3 1: 400
STAGE DA	DRAWING No AR- 8005
	REVISION E





PUNCHBOWL ROAD

SOLAR DIAGRAM 21ST JUNE 9AM



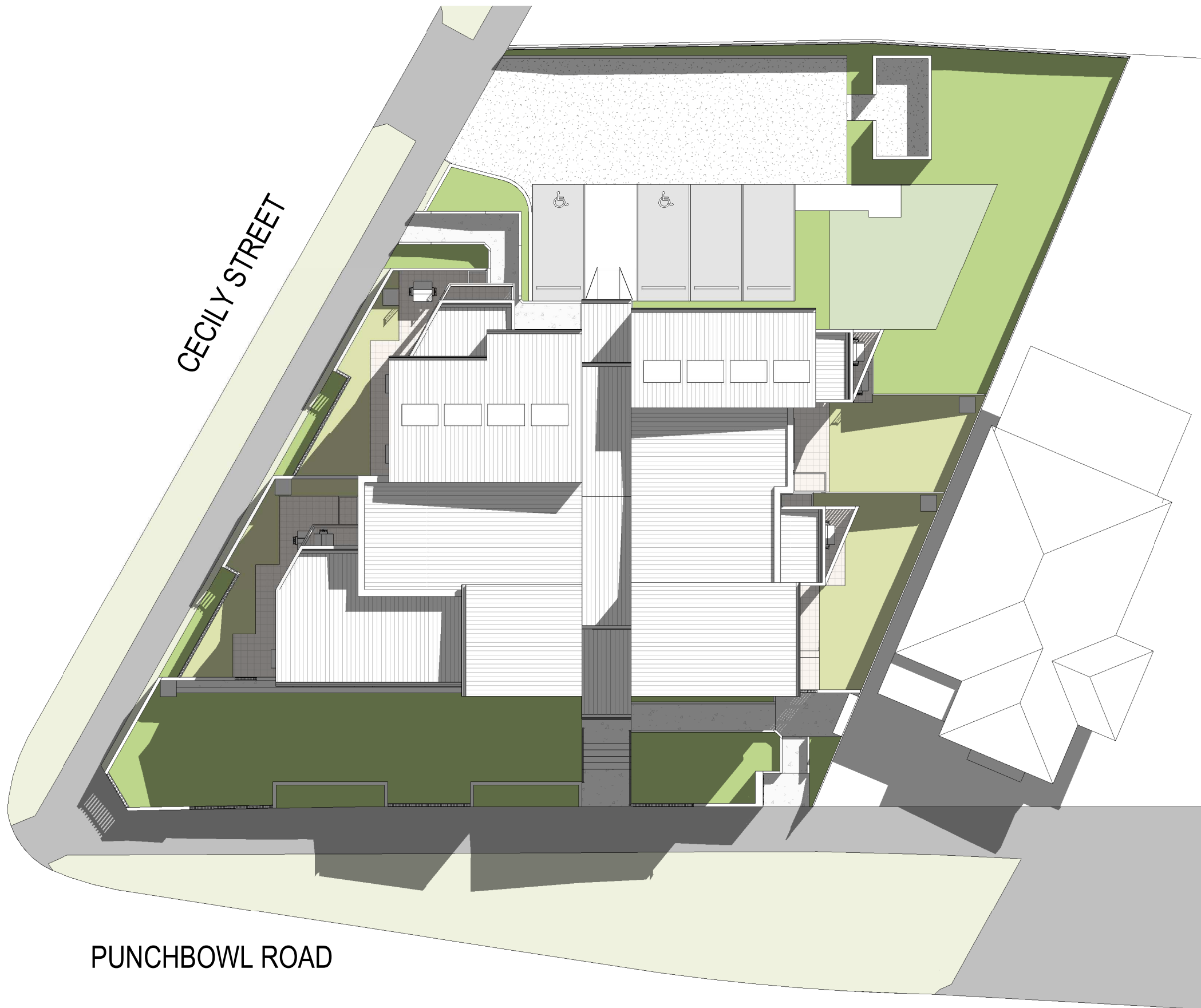
PUNCHBOWL ROAD

SOLAR DIAGRAM 21ST JUNE 10AM



PUNCHBOWL ROAD

SOLAR DIAGRAM 21ST JUNE 11AM



PUNCHBOWL ROAD

SOLAR DIAGRAM 21ST JUNE 12PM

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AMENDMENTS					
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A	100% DESIGN DEVELOPMENT	VL	AW	05.11.21	
B	PART 5 SUBMISSION	VL	LC	02.12.21	
C	REVISED PART 5 SUBMISSION	VL	LC	17.12.21	
D	REVISED PART 5 SUBMISSION	VL	LC	01.06.22	

STATUS  
**PART 5**

NORTH

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DRAWING TITLE  
**SOLAR DIAGRAMS 1/2**

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PROJECT No	STAGE	DRAWING No	REVISION
21196	DA	AR-8101	D

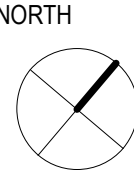


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AMENDMENTS

REV	DESCRIPTION	AUTH	CHK	DATE
A	100% DESIGN DEVELOPMENT	VL	AW	05.11.21
B	PART 5 SUBMISSION	VL	LC	02.12.21
C	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
D	REVISED PART 5 SUBMISSION	VL	LC	01.06.22

STATUS  
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PART LOT 19 DP35824 & PART LOT 18 DP35824

DRAWING TITLE  
SOLAR DIAGRAMS 2/2

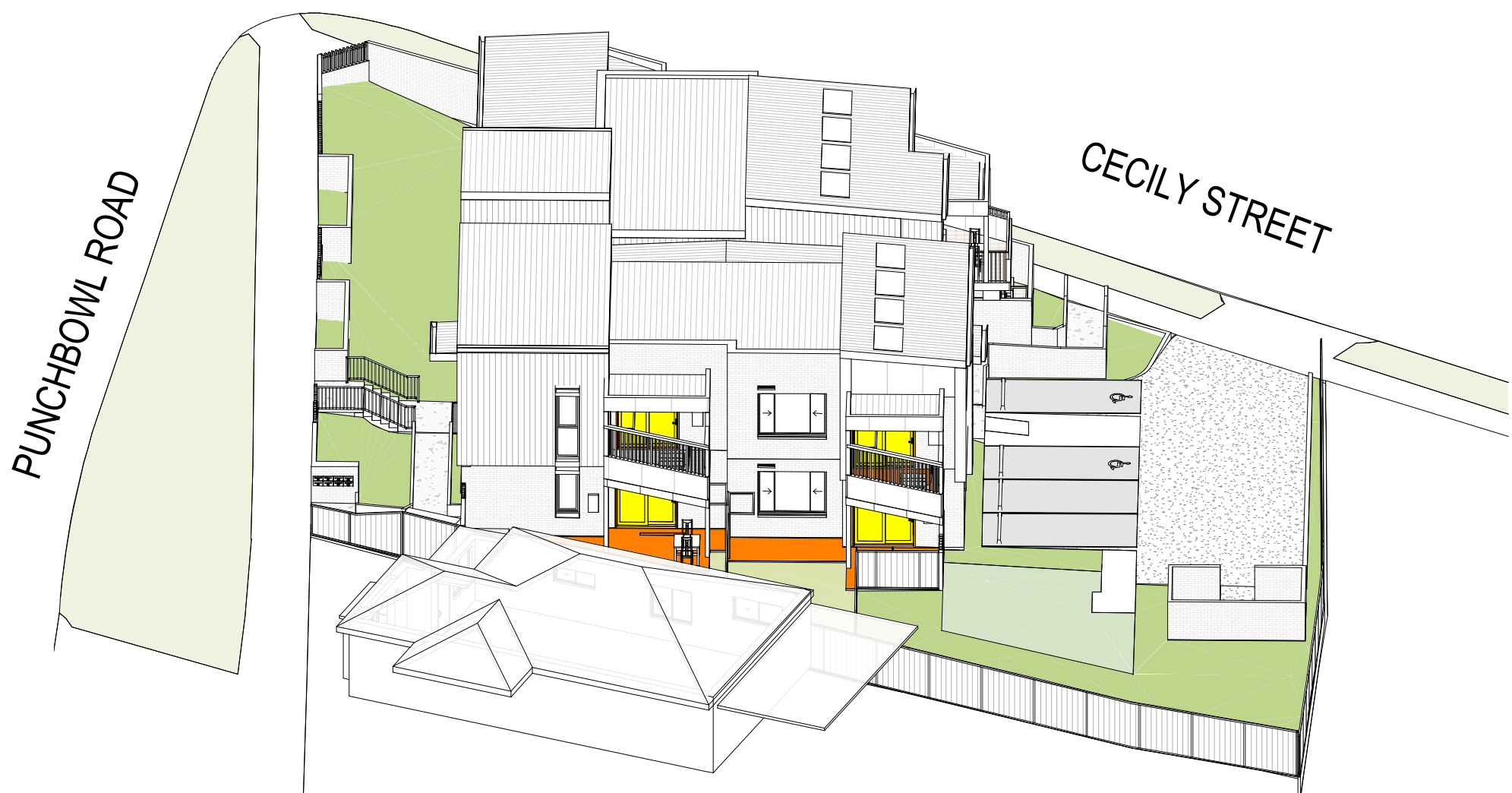
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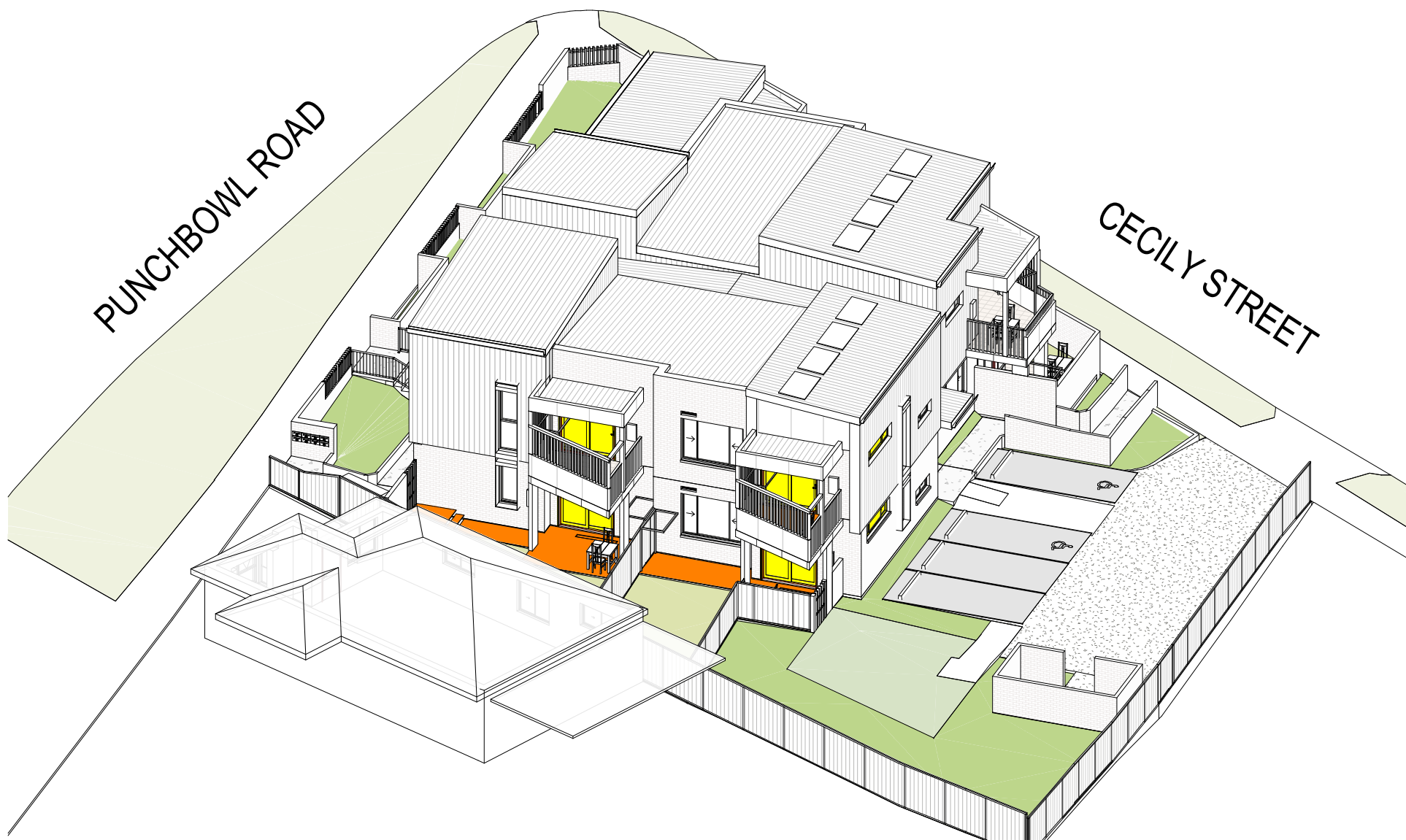
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AMENDMENTS

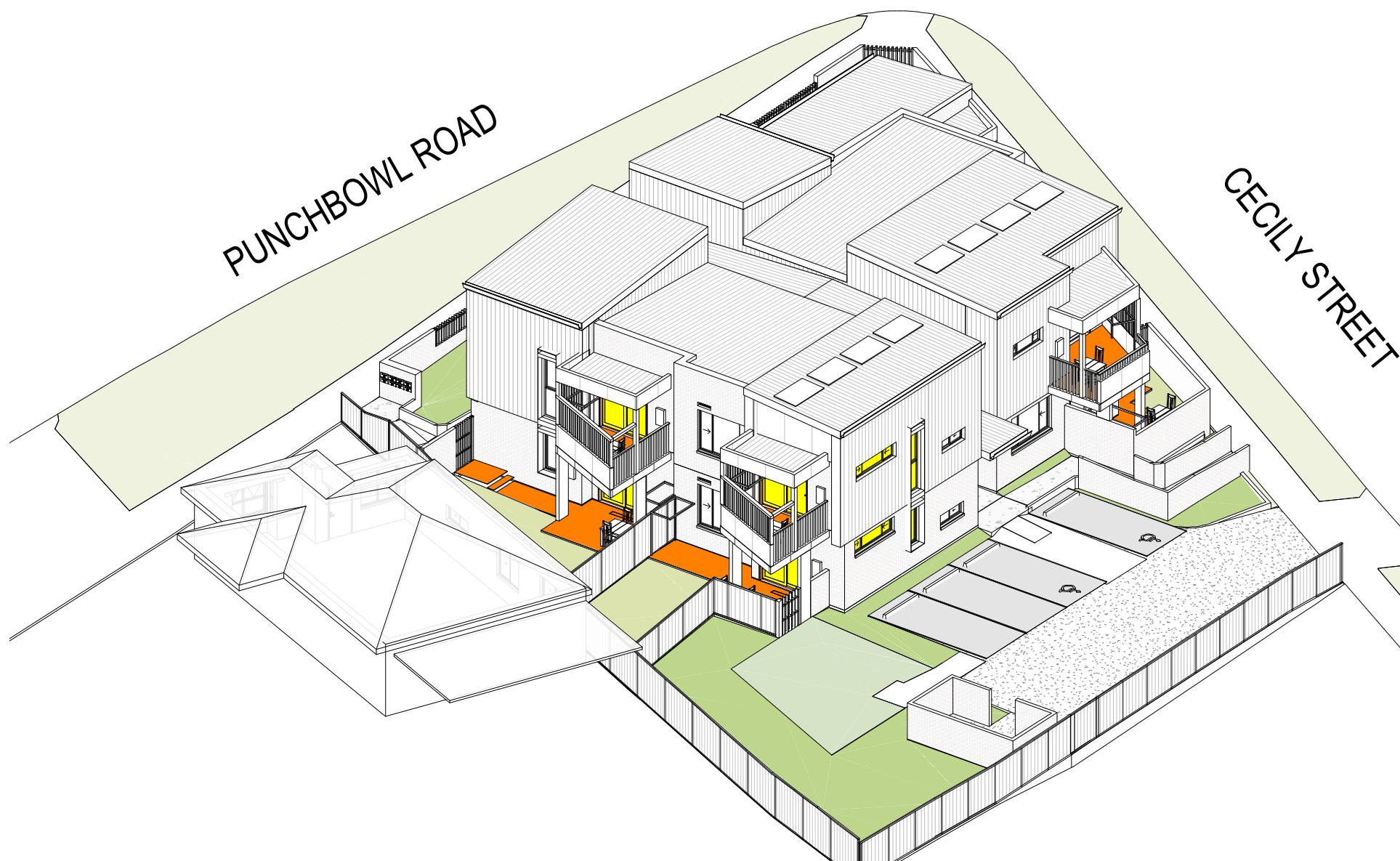
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B	PART 5 SUBMISSION	VL	LC	02.12.21
C	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
D	REVISED PART 5 SUBMISSION	VL	LC	01.06.22



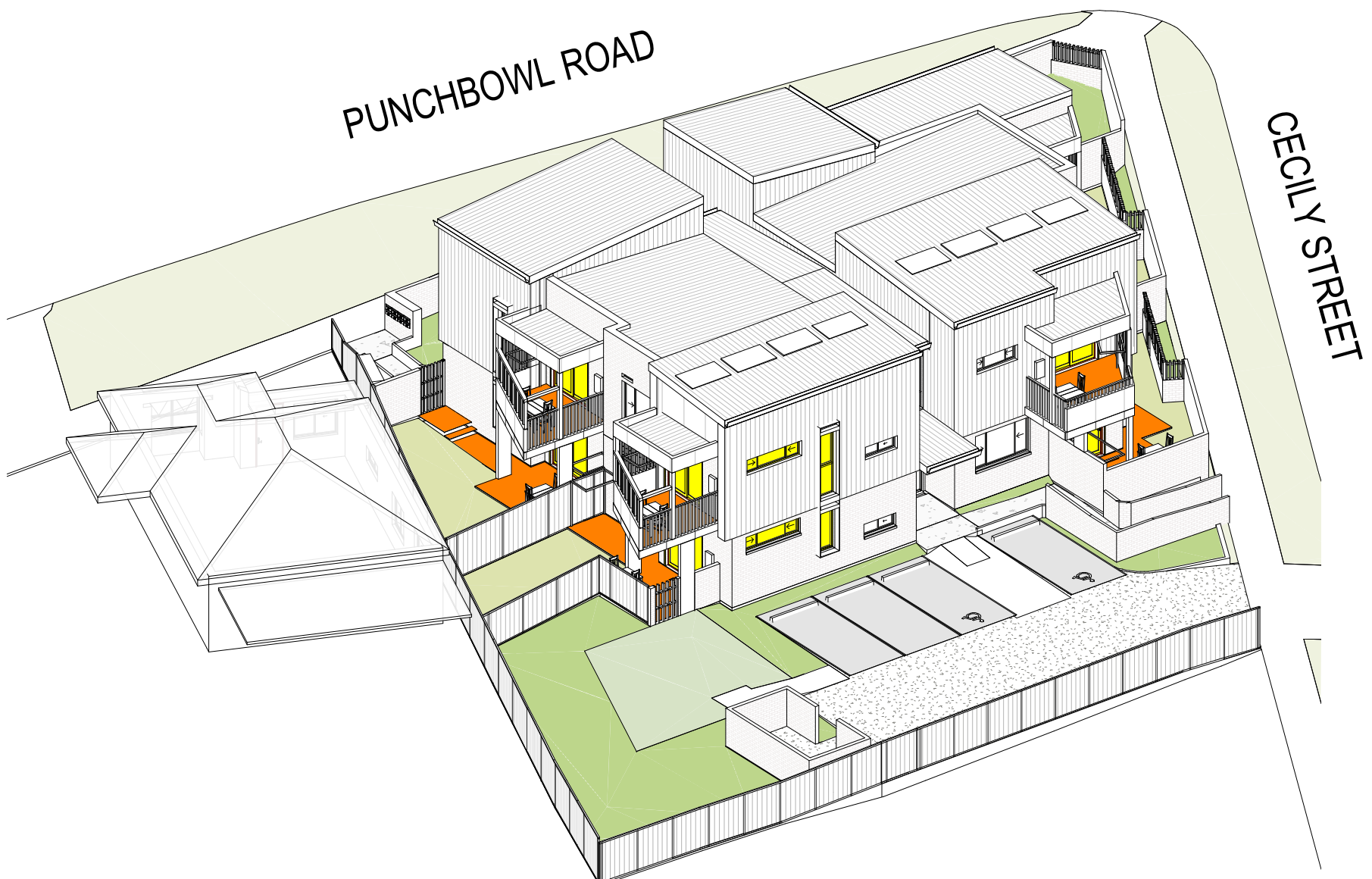
STUDY FROM SUN ANGLE - 9AM



STUDY FROM SUN ANGLE - 10AM



STUDY FROM SUN ANGLE - 11AM



STUDY FROM SUN ANGLE - 12PM

SOLAR ACCESS - GROUND FLOOR

UNIT NO.	UNIT 01		UNIT 02		UNIT 03		UNIT 04	
AREA	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9AM - 10AM								
10AM - 11AM								
11AM - 12PM								
12PM - 1PM								
1PM - 2PM								
2PM - 3PM								

SOLAR ACCESS - FIRST FLOOR

UNIT NO.	UNIT 05		UNIT 06		UNIT 07		UNIT 08	
AREA	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9AM - 10AM								
10AM - 11AM								
11AM - 12PM								
12PM - 1PM								
1PM - 2PM								
2PM - 3PM								

STATUS  
PART 5

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PROJECT  
**LAHCBELF**  
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PART LOT 19 DP35824 & PART LOT 18 DP35824

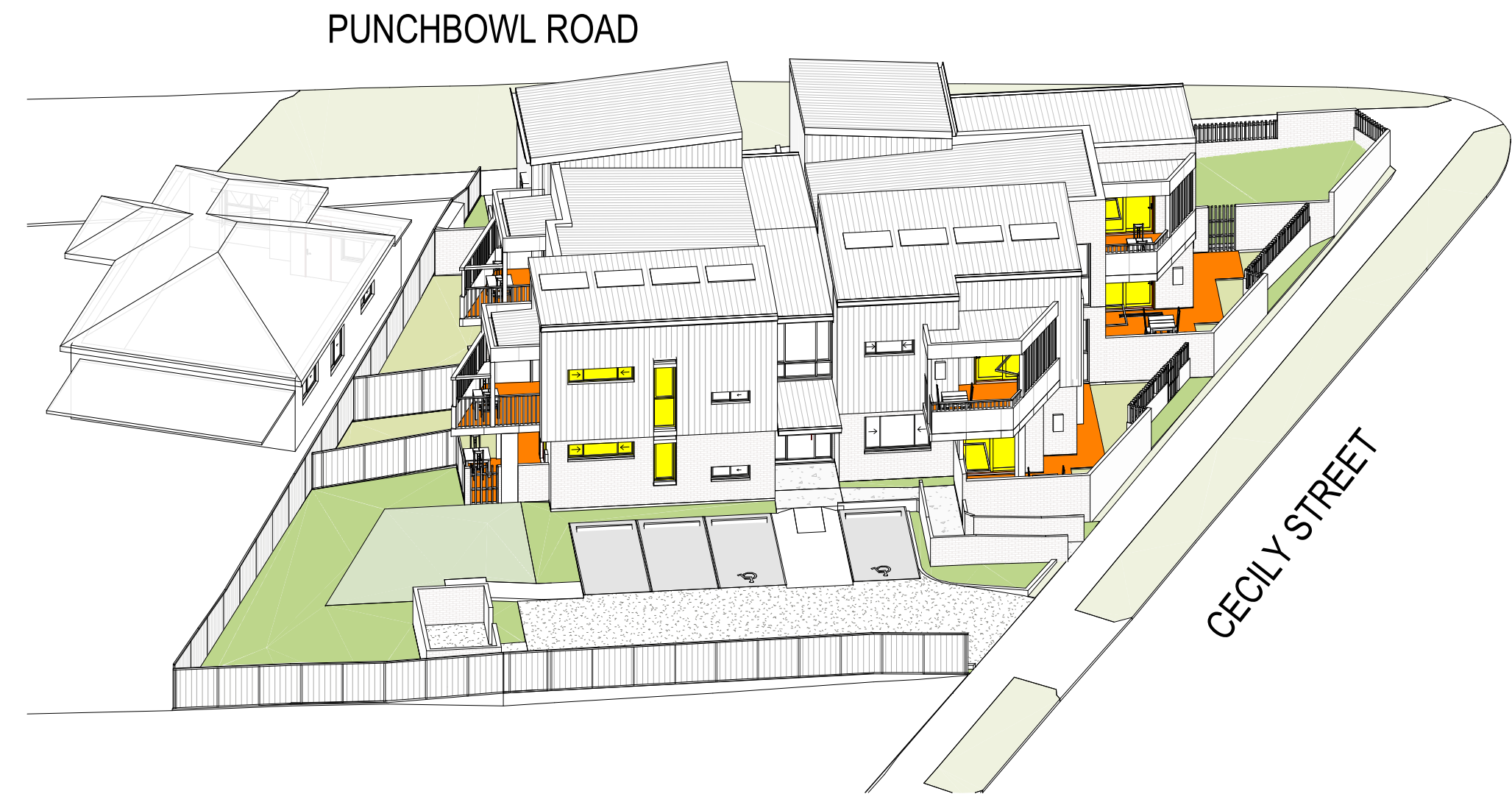
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**SOLAR STUDY FROM SUN ANGLE 1/2**

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ISSUE 22/07/2022 11:01:06 AM NTS	SCALE @ A1
PROJECT No 21196	STAGE DA
DRAWING No AR-8103	REVISION D

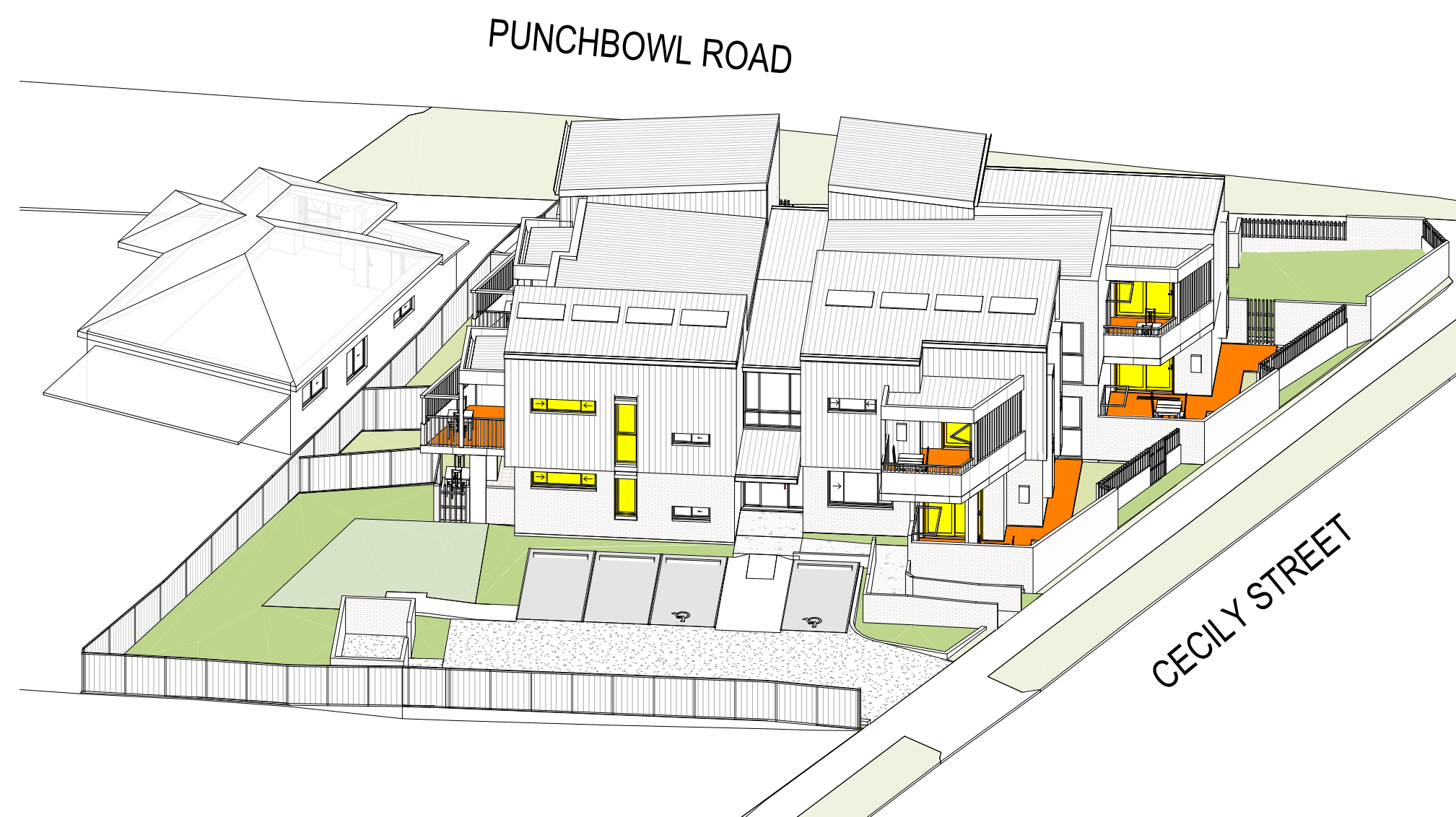




STUDY FROM SUN ANGLE - 1PM



STUDY FROM SUN ANGLE - 2PM



STUDY FROM SUN ANGLE - 3PM

SOLAR ACCESS - GROUND FLOOR								
UNIT NO.	UNIT 01		UNIT 02		UNIT 03		UNIT 04	
AREA	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9AM - 10AM								
10AM - 11AM								
11AM - 12PM								
12PM - 1PM								
1PM - 2PM								
2PM - 3PM								

SOLAR ACCESS - FIRST FLOOR								
UNIT NO.	UNIT 05		UNIT 06		UNIT 07		UNIT 08	
AREA	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9AM - 10AM								
10AM - 11AM								
11AM - 12PM								
12PM - 1PM								
1PM - 2PM								
2PM - 3PM								

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- Verify all dimensions on site prior to commencement of work.
- DO NOT scale off these drawings.
- Report any discrepancies to the architect before carrying out any work.

AMENDMENTS				
REV	DESCRIPTION	AUTH	CHK	DATE
A	100% DESIGN DEVELOPMENT	VL	AW	05.11.21
B	PART 5 SUBMISSION	VL	LC	02.12.21
C	REVISED PART 5 SUBMISSION	VL	LC	17.12.21
D	REVISED PART 5 SUBMISSION	VL	LC	01.06.22

STATUS  
PART 5



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Planning & Environment

PROJECT  
LAHCBELF

97-99 PUNCHBOWL ROAD, BELFIED NSW 2191  
PART LOT 19 DP35824 & PART LOT 18 DP35824

DRAWING TITLE  
SOLAR STUDY FROM SUN ANGLE 2/2

DRAWN VL	CHECKED LC
ISSUE 22/07/2022 11:01:19 AM NTS	SCALE @ A1
PROJECT No 21196	STAGE DA
DRAWING No AR-8104	REVISION D